

Cost Update 2024

March 25, 2025





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1 Introduction

Rawlinsons (W.A) has been engaged by *City of Kwinana* via Mr Ruban Ganesha to provide updates to the Development Contribution Plan (DCP) costs relating to the infrastructure build and upgrades to seven Development Contribution Areas (DCA1-7). These cost updates are in relation the following infrastructure:

- 1. Roads and Utilities (12 assets total)
- 2. Open Drains (12 options/assets total)
- 3. Verge and Median Landscaping Treatment for Roads (12 assets total)
- 4. Public Open Spaces (43 assets over 4 DCA's)

2 Market Overview

Over the past year, the Western Australia market has seen a significant increase in construction costs among all industries. Specifically, in the Civil Construction Industry, these cost increases have been noteworthy due to the limited availability of skilled labour and plant, materials shortages and cost increases, freight cost increase, fuel price increases, state government's continuous investment in transport and infrastructure project (e.g. Metronet), and the number of additional construction projects in Western Australia.

All the above aspects have significantly increased the costs for constructing infrastructure projects around Western Australia. The following indices illustrate the Western Australia construction cost increases over the past year:

Table 1 - Published Construction Cost Indices

Index	March 2023 – December 2024 % Change
Australian Bureau of Statistics (ABS) - Table 17. Output of the Construction industries, subdivision and class index numbers - Index Number; 3101 Road and Bridge Construction Western Australia	~ 3.0%
Australian Institute of Quantity Surveyors (AIQS) – CCIF Q4 2024	~ 9.6 %
Rawlinsons Construction Handbook (RACH) 2025 – Building Price Index	~ 10.5%

The **ABS** index above shows the cost increase specifically in Road and Bridge construction projects in Western Australia over the past year. This index is based on data compiled, analysed, and prepared by the Australian Bureau of Statistics (Commonwealth of Australia) quarterly.

The **AIQS** index above shows the cost increase amongst all construction projects in Western Australia Metropolitan area with a value between \$10m and \$50m over the past year. This index is based on data compiled, analysed, and prepared by the Australian institute of Quantity Surveyors based on twelve of the leading quantity surveying firms (including Rawlinsons (W.A) in Western Australia on a quarterly basis.

The **RACH** index above shows the cost increase specifically in across all construction projects in Western Australia over the past year. This index is based on data compiled, analysed, and prepared by the Rawlinsons (W.A) publishing team quarterly.

In summary, the above indices indicate infrastructure project costs have increased between 3 and 11% over the past year. However, we note that these indices are averages across many projects of different scale.



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Rawlinsons (W.A) have specifically witnessed on smaller scale infrastructure projects (say <\$2m) a disproportionate cost increase in some instances being up to 50% more than the escalation rate. Tender rates analysed have been largely spread amongst tenders with variances up to 200% amongst the different work items. We believe that the main driver for this is largely due to contractor appetite and availability with larger infrastructure projects in Perth currently utilising a large portion of the workforce.

Furthermore, Rawlinsons (W.A) have seen the cost distribution of escalation over the past year vary according to construction component. For instance, concrete costs have increased about ~20% over the past year, which would affect each project differently according to how much concrete is required in that project (e.g. kerbs and footpaths).

To surmise, even though the indices above indicate a range of 3-11% increase over the past year, cost escalations on each project may be more or less significant due to its own attributes.

3 Cost Plan Methodology

The cost plan has been prepared using a trade breakdown for each road section, including site works and services, within each development contribution area. Within each element composite work items have been quantified using iTwo Cost X software. Cost rates reflective of Q4 of 2024 for each work item have been applied to each individual work item. Pricing/cost data has generally been sourced from previous projects of similar nature.

As for open drains, landscaping, and POS's, Rawlinsons (W.A) have updated previous rates to suit rates of Q4 of 2024.

Rawlinsons (W.A) have incorporated actual costs of construction where provided by the City of Kwinana.

4 Basis of Estimate

This estimate is based on the documentation and information provided in the Table below:

Table 2 - Table of Documents

Document File Name	Author	Date Received
General		
RFC 01 22 - Attachment B - Specifications - Provision and Review of Infrastructure Cost Estimates for DCP Areas	City of Kwinana	6/11/2022
DCA Area Maps	City of Kwinana	15/11/2022
City of Kwinana Ordinary Council Meeting Agenda 23/11/23	City of Kwinana	2/3/2023
Roads		
DCA 1 – BERTRAM ROAD UPGRADE	BPA Engineering	22/11/2022
DCA 1 – WELLARD ROAD UPGRADE	City of Kwinana	22/11/2022
DCA 2 – MILLAR ROAD	Porter Consulting Engineers	22/11/2022
DCA 2- MORTIMER ROAD	BPA Engineering	22/11/2022
DCA 2 – SUNRISE BLVD	BPA Engineering	22/11/2022
DCA 3 – PEEL SUB	BPA Engineering	22/11/2022



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DCA 3 4 – THOMAS ROAD	BPA Engineering	22/11/2022
DCA 4 5 – ANKETELL ROAD	BPA Engineering	22/11/2022
DCA 5 – HONEYWOOD AVE CORDATA AVE	Peritas Group	22/11/2022
DCA 5 – LYON ROAD	Peritas Group	22/11/2022
DCA 6 – HAMMOND ROAD	Porter Consulting Engineers	22/11/2022
LOT 611 670 COLVERT CROSSING	BPA Engineering	22/11/2022
Open Drains, Landscape, and POS		
Copy of DCP scope sheets_RV 2	-	22/11/2022

We note that minimal design documents have been provided; consequentially, assumptions on design and scope of works have been made as outlined in the subsequent sections.

5 Summary of Cost Estimates

The following tables represent the summary of costs associated with each Development Contribution Area and the associated scope of works:

Table 3: Roads

Code	Description	Cost \$		
1.1	DCA 1 Bertram Road Upgrade	\$ 6,615,040		
1.2	DCA 1 Wellard Road Upgrade	\$ 23,906,470		
1.3	DCA 2 Millar Road Upgrade	\$ 1,027,416		
1.4	DCA 2 Mortimer Road upgrade	\$ 7,309,935		
1.5	DCA 2 Sunrise Boulevard 15.4m wide***	\$ 1,977,962		
1.6	DCA 3 Thomas Road Upgrade	\$ 9,264,930		
1.7	DCA 4 Anketell Road Upgrade	\$ 12,934,529		
1.8	DCA 5 Honeywood Avenue (Cordata Avenue)	\$ 2,680,816		
1.9	DCA 5 Lyon Road Upgrade	\$ 4,343,010		
1.10	1.10 DCA 6 Hammond Road			
1.11	DCA 6 Connector Road (Hammond Road Extension)	\$ 2,412,660		
1.12	DCA 1 Culvert and Road Crossing over Peel Main Drain in Bertram	\$ 943,278		
	TOTAL ROADS COST (excl. GST)	\$ 75,680,506		
	GST			
	TOTAL ROADS COST (incl. GST)	\$ 83,248,557		

^{***} DCA 2 Sunrise Boulevard 19.4m wide option is \$2,121,461 + GST



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Table 4: Open Drains

Code	Description	Cost \$		
2.1	DCA 1 Bertram Road Drainage Basin	\$ 375,215		
2.2	Peel Sub N Drain Upgrade in Wellard	\$ 1,370,353		
2.3	Peel Sub N1 Drain Upgrade in Wellard	\$ 274,274		
2.4	Peel Sub N2 Drain Upgrade in Wellard	\$ 324,052		
2.5	Peel Sub P Drain in Casuarina	Excl.		
2.6	Peel Sub P1 Drain in Casuarina	\$ 1,260,263		
2.7	Peel Sub P1A Drain in Casuarina	\$ 701,919		
2.8	Peel Sub O Drain in Casuarina	\$ 1,595,270		
2.9	Piping of the Sub P Drain in Casuarina	\$ 976,922		
2.10	2.10 Piping of the Sub P1 Drain in Casuarina			
2.11	Piping of the Sub P1A Drain in Casuarina	\$ 246,593		
2.12	2.12 Piping of the Sub O Drain in Casuarina			
	\$ 9,200,463			
	\$ 920,046			
	TOTAL OPEN DRAINS COST (incl. GST)			

Table 5: Road Landscape

Code	Description	Cost \$		
3.1	Bertram Road, Wellard	\$ 395,080		
3.2	Wellard Road, Wellard	\$ 3,078,146		
3.3	Millar Road	\$ 78,157		
3.4	Mortimer Road, Wellard	\$ 339,819		
3.5	Sunrise Boulevard, Wellard – 15.4m wide	\$ 175,311		
3.6	Sunrise Boulevard, Wellard – 19.4m wide	\$ 241,623		
3.7	Thomas Road, Wellard	\$ 1,552,103		
3.8	Anketell Road, Wellard	\$ 1,038,122		
3.9	Hammond Road Extension	\$ 1,242,745		
3.10	Hammond Road Connector Road	\$ 896,942		
3.11	Lyon Road	\$ 496,070		
3.12	Cordata Ave, Wandi	\$ 434,896		
	\$ 9,969,014			
	\$ 996,901			
	TOTAL ROAD LANDSCAPE COST (incl. GST)			



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Table 6: Public Open Space

Code	Description	Cost \$		
4.1	DCA 3 Casuarina Public Open Space	\$ 53,389,388		
4.2	DCA 4 Anketell North Public Open Space	\$ 12,672,787		
4.3	DCA 5 Wandi North and South Open Space	\$ 4,956,331		
4.4	4.4 DCA 6 Mandogalup Public Open Space			
4.5	4.5 DCA 2-7 District Sporting Ground (excluding building)			
	TOTAL PUBLIC OPEN SPACE COST (excl. GST)			
	\$ 8,658,829			
	TOTAL PUBLIC OPEN SPACE COST (incl. GST)	\$ 95,247,119		

6 Limitations

The following items have not been included in our estimate:

- Land acquisition
- Escalation
- Public Art
- Environmental Costs and Offsets
- Maintenance Costs to the Road Infrastructure (e.g. linemarking, street signs replacement, light pole luminaire replacements, etc.)
- · Rectifying existing non-compliant issues not identified
- Asbestos Contaminated Materials and Hazardous Building Materials
- Excavation in adverse ground conditions including rock, clay, ASS etc.
- Noise walls
- Soil testing
- Dewatering
- Staging works
- Construction works outside of normal working hours
- Salvaging
- · Statutory authority charges
- Legal fees
- GST
- Finance charges



7 Major Assumptions, Inclusions, and Exclusions

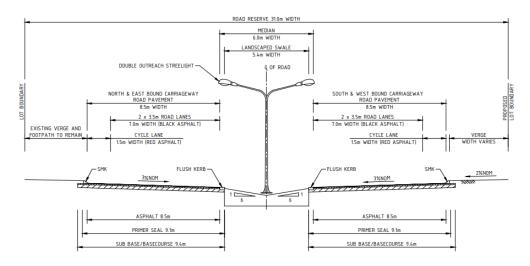
The following items have been assumed in our estimate:

7.1 General Assumptions

- Earthworks, unless noted otherwise
 - Cut to fill is taken as +/- 300mm
 - Cut to fill in swale medians taken as +/- 500mm
 - No allowance for dispersing top soil
- Landscaping to verge area is included
- Road reserve improvements including hard landscaping, public art and higher design standards of infrastructure are not included

7.2 Road

- DCA 1 Bertram Road Upgrade road build up generally consists of:
 - 200mm thick compacted limestone sub base
 - o 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - Red asphalt to cycle way
 - o Based on the figure below from drawing SK4 Rev A Concept Plan and Cross Section:



TYPICAL CROSS SECTION - BERTRAM ROAD ULTIMATE DUAL CARRIAGEWAY

Figure 1: Bertram Road

- Bertram Road Upgrade also assumes the following:
 - Footpath measured to southern side only
 - Existing kerb to northern side remains and footpath is made good where required
 - Allowed to extend footpath to existing bus stop past the Challenger Ave intersection
 - Existing chainlink fence remains
 - RAB at Wellard Road/Bertram Road is included with Wellard Road



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- DCA 1 Wellard Road Upgrade road build up generally consists of:
 - 150mm thick compacted limestone sub base
 - o 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - Based on the figure below from drawing20-010-145 Rev B Typical Cross Section and Pavement Construction Detail:

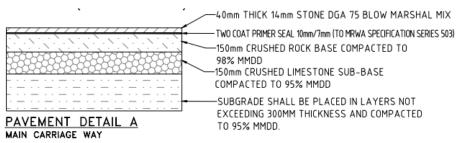


Figure 2: Wellard Road

- Wellard Road Upgrade also assumes the following:
 - Bus shelters (in No. 2) removed but not replaced
 - Safety barriers included
 - 3000mm wide limestone access track included
- DCA 2 Millar Road Upgrade road build up generally consists of:
 - Estimate is for CH470 to CH577 only and assumes that works up to CH470 are completed as per drawings received
 - Actual construction costs for CH36.7 to CH470 have been provided by the City of Kwinana
 - No allowance for removal of trees
 - No allowance for landscaping
 - Existing road base and sub base to remain
 - Assumed new road base and sub base under flush kerb
 - Assumed no works required to utilities services like gas services, water and sewer, Telstra/NBN as advised by City of Kwinana
- DCA 2 Mortimer Road Upgrade road build up generally consists of:
 - o 200mm thick compacted limestone sub base
 - o 150mm thick crushed rock base course
 - o 40mm thick AC14 asphalt
 - Based on the figure below from drawing SK1 Rev A Concept Plan:

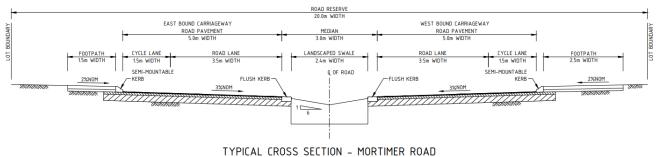


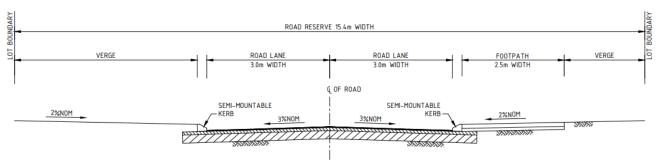
Figure 3: Mortimer Road

- Mortimer Road Upgrade also assumes the following:
 - Wake Way removal has been included but no new alignment allowed for
 - Allowed for removal of existing road paving
 - Assumed concrete infill to medians



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- DCA 2 Sunrise Boulevard road build up generally consists of:
 - o 200mm thick compacted limestone sub base
 - 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - Based on the figure below from drawing SK5 Rev B Concept Plan 15.4m Wide Road Reserve:



TYPICAL CROSS SECTION - 15.4m WIDE R.R. SUNRISE BOULEVARD

Figure 4: Sunrise Boulevard

- Sunrise Boulevard works also assumes the following:
 - Allowed for removal of existing road paving
 - Allowed for new drainage culvert to basin
- DCA 3 Thomas Road Upgrade:
 - Works are complete
 - We have utilised the costs provided by the City of Kwinana in this update
- DCA 4 Anketell Road Upgrade road build up generally consists of:
 - 200mm thick compacted limestone sub base
 - o 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - Based on the figure below from drawing SK4 Rev C Typical Road Cross Sections:

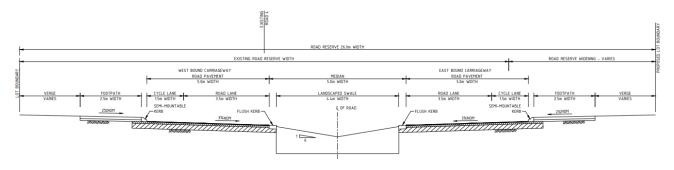


Figure 5: Anketell Road

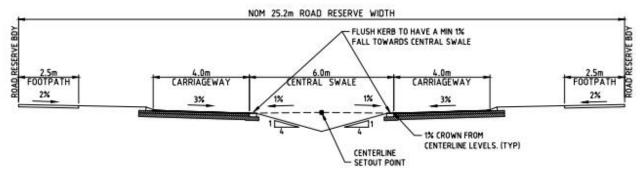
TYPICAL CROSS SECTION - ANKETELL ROAD

- Anketell Road Upgrade also assumes the following:
 - New bus shelter excluded
 - Allowed for removal of existing paving
 - Traffic signals at 4-way intersection are included

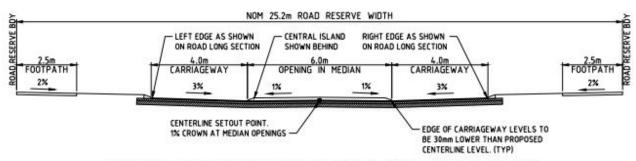


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- DCA 5 Honeywood Avenue/Cordata Avenue road build up generally consists of:
 - o 200mm thick compacted limestone sub base
 - 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - o Based on the figure below from drawing SK1 Rev B:



TYPICAL SECTION THROUGH CORDATA AVE - SWALE (CORDATA AVE) SCALE 1:100



TYPICAL SECTION THROUGH CORDATA AVE - MEDIAN BREAK NO MEDIANI SCALE 1/100

Figure 6: Cordata Road

- Honeywood Ave/ Cordata Ave Upgrade also assumes the following:
 - Demolition of existing structures is excluded
 - Intersection at Anketell Road included with Anketell Road costs
- DCA 5 Lyon Road South Section:
 - Works are complete
 - We have utilised the costs provided in the DCP of 2022 to reflect these costs in this update
- DCA 6 Hammond Road Extension road build up generally consists of:
 - 200mm thick compacted limestone sub base
 - 150mm thick crushed rock base course
 - o 40mm thick asphalt
 - o Based on the figure below from drawing 17-5-59/400 Rev B Concept Plan:

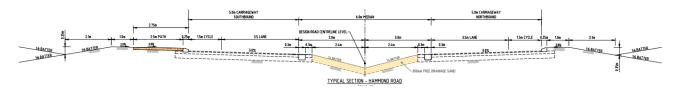


Figure 7: Hammond Road Extension



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- Hammond Road Extension also assumes the following:
 - Rowley Road upgrade has not occurred
 - On ramp/ off ramp to Rowley Road is not included
 - Concrete footpaths
 - Future nature strip is excluded
- DCA 6 Hammond Road Extension Connector road build up generally consists of:
 - 200mm thick compacted limestone sub base
 - 150mm thick crushed rock base course
 - 40mm thick asphalt
 - Based on the figure below from drawing 17-5-59/400 Rev B Concept Plan:

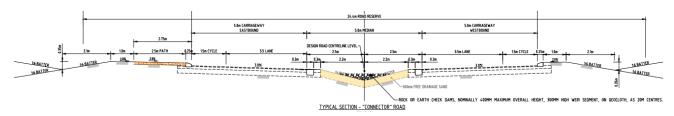


Figure 8: Hammond Road Extension Connector

- Hammond Road Extension Connector also assumes the following:
 - Concrete footpaths
- Culvert and Road Crossing over Peel Main Drain road build up generally consists of:
 - 150mm thick compacted limestone sub base
 - o 100mm thick crushed rock base course
 - 40mm thick asphalt
 - o Based on the figure below from drawing SK2 Rev B Concept Plan and Section:

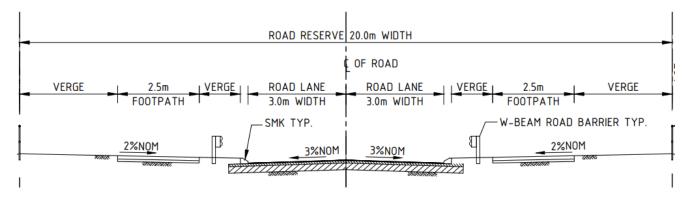


Figure 9: Road over Peel Main Culvert

- o Culvert and Road Crossing over Peel Main Drain also assumes the following:
 - Only area within drainage reserve has been measured
 - Allowed to remove fencing and reinstate
 - Allowed to tie in to existing New Grange Loop
- Shared paths (Concrete) build up generally consists of:
 - 100 thick reinforced concrete
 - 100 thick compacted clean sand fill



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- Shared paths (Asphalt) build up generally consists of:
 - 150mm thick compacted limestone sub base
 - o 30mm thick asphalt
 - Red oxide
- Median build up (Concrete) generally consists of:
 - 150 thick reinforced concrete infill with pattern pave style
 - Semi mountable kerb to perimeter
 - Sub base and road base measured to whole median area
- Median build up (Brick) generally consists of:
 - 80 thick block paving
 - o 30mm compacted sand bed
 - 150mm thick compacted limestone sub-base

7.3 Open Drains / Road Landscape / Public Open Space

- Generally, where sections do not include for Preliminaries and Contingencies, we have factored these
 into the rate
- As per City of Kwinana's guidance, we have updated rates only in the Excel file provided to reflect most current rates. We have not adjusted quantities unless requested
- Road Landscaping
 - Rawlinsons (W.A) have been provided actual costs for Millar Road road landscaping and have reflected this in the actual costs
 - Rawlinsons (W.A) have been provided actual costs for Lyon Road road landscaping and have reflected this in the actual costs

Drainage

- Rawlinsons (W.A) have been provided actual costs for the Bertram Road Drainage Basin and have reflected this in the actual costs
- Rawlinsons (W.A) have been provided actual costs for the Peel Sub P drain and have reflected this in the actual costs. We understand this to be a portion of the drain construction and have pro-rated it's costs in this cost update (please see breakdown for workings). There is 174m still to be constructed.
- Rawlinsons (W.A) have been provided actual costs for Peel Sub N1 drain and have reflected this in the actual costs, with 167m still to be constructed
- Rawlinsons (W.A) have been provided actual costs for Peel Sub N2 drain and have reflected this in the actual costs, with 111m still to be constructed
- We understand that the Peel Sub P drain in Casuarina has been excluded due to the piping solution instead; we have reflected this in the costs

Public Open Spaces

- Rawlinsons (W.A) have been provided actual costs for DCA 5, POS 22B and POS 22C from the City of Kwinana Wandi North and South Open Space
- Rawlinsons (W.A.) have been provided actual costs for DCA 6, POS 5, POS 8, POS A, POS B and POS D and have reflected this in the actual costs. Maintenance over 2 years has been included with each POS
- Rawlinsons (W.A.) have been provided actual costs for DCA 4, POS 3 and POS 12 and have reflected this in the actual costs. Maintenance over 2 years has also been included
- Rawlinsons (W.A.) have been provided actual costs for POS A, POS B and POS D and have reflected this in the actual costs. Maintenance over 2 years has been included with both
- No information has been provided on the "District Sporting Ground, excluding the building (DCA2-7)" outlined in the Attachment B document during RFT. However, from the DCP of 2022, we have seen that this has been excluded and have done so accordingly in this update as well.



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7.4 Other

Please see breakdown in Annexures for further detailed assumptions

8 Below the Line Costs

8.1 Risk Contingency

A risk contingency of 10% of the construction costs has been included to help cover design and construction risks.

8.2 Project Overheads and Preliminaries (Indirect Construction Costs)

An allowance of 15% for the Roadworks and Utilities and 15% for the Open Spaces of the construction costs has been included to cover Builder associated setup, management, insurance, etc. costs.

8.3 Project Owner's Cost (Planning and Design Cost)

Project Owner's costs have been allowed at 7.50% for Roadworks and Open Spaces and at 7.50% of the construction costs for Utilities for design and owner related costs.

8.4 Traffic Management

Generally allowed traffic management costs at 5% of the construction costs.

8.5 Escalation

No escalation has been allowed in our cost estimate.





9 Variance of Cost from Previous Rawlinsons (W.A) Estimate

The following is a summary of the variances from the previous issued report of 2023, 1.03:

- All rates updated to December 2024
- Below the line costs are now compounding to all road construction estimates
- Actual costs included where provided. These include:
 - DCA 2 Peel Sub Drain N1 in Wellard 289m constructed portion (included in 2024 update)
 - DCA 2 Peel Sub Drain N2 in Wellard 245m constructed portion (included in 2024 update)
 - o DCA 3 Thomas Road construction (included in 2024 update)
 - DCA 3 Piping Sub P Drain in Casuarina actual cost updated for 641m constructed portion (included in 2024 update)
 - o DCA 4 POS 3 (included in 2024 update)
 - o DCA 4 POS 12 (included in 2024 update)
 - o DCA 6 POS 5 (included in 2024 update)
 - o DCA 6 POS 8 (included in 2024 update)
 - o DCA 6 POS A (included in 2024 update)
 - o DCA 6 POS B (included in 2024 update)
 - DCA 6 POS D (included in 2024 update)
- Updates to POS areas have been included to:
 - o DCA4 Anketell North Public Open Space
 - POS 1 (area was 5429m2 now 5072m2)
 - POS 2 (area was 49005m2 now 37116m2)
 - POS 3 (area was 4017m2 now 3969m2)
 - POS 6 (area was 3828m2 now 3997m2)
 - POS 7 (area was 6963m2 now 7276m2)
 - POS 8 (area was 5378m2 now 10379m2)
 - POS 12 (area was 1055m2 now 1343m2)
 - DCA 6 Mandogalup Public Open Space
 - POS 3 (now 2345m2)
 - POS 4 (now 6803m2)
 - POS 5 (now 12136m2)
 - POS 8 (now 1630m2)
 - POS A (now 28988m2)
 - POS B (now 3711m2)
 - POS D (now 16285m2)





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ANNEXURE A – Road Infrastructure Cost Breakdown



SUMMARY

Master Workbook - 2024

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
	DCA1					
1	DCA1 - BERTRAM ROAD				6,615,040	Road construction below the line costs compounded
2	DCA 1 - WELLARD ROAD				23,906,470	Road construction below the line costs compounded
3	DCA 1 - PEEL MAINDRAIN CULVERT				943,278	Road construction below the line costs compounded
	DCA2					
4	DCA 2 - MILLAR ROAD				1,027,416	Road construction below the line costs compounded
5	DCA 2 - MORTIMER ROAD				7,309,935	Road construction below the line costs compounded
6	DCA 2 - SUNRISE BOULEVARD				1,977,962	Road construction below the line costs compounded
	DCA3					
7	DCA 3 - THOMAS ROAD (CONSTRUCTION COMPLETE)				9,264,930	Construction complete - Actuals provided
	DCA4					
8	DCA 4 - ANKETELL ROAD				12,934,529	Road construction below the line costs compounded
	DCA5					
9	DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)				2,680,816	Road construction below the line costs compounded
10	DCA 5 - LYON ROAD (CONSTRUCTION COMPLETE)				4,343,010	Construction complete - Actuals provided
	DCA6					
11	DCA 6 - HAMMOND ROAD				2,264,460	Road construction below the line costs compounded
12	DCA 6 - CONNECTOR ROAD (HAMMOND ROAD EXTENSION)				2,412,660	Road construction below the line costs compounded

DCA TOTAL: \$75,680,506



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
1	DCA1 - BERTRAM ROAD					_
1.1	Road Construction	926	m	5,423.87	5,023,700	
1.2	Utilities	926	m	1,718.10	1,591,340	

DCA1 - BERTRAM ROAD 6,615,040

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
1.1	ROAD CONSTRUCTION						•
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	16,183	m2	3.76	60,848		60,848
2	Removal of topsoil 150mm and stockpile for later re-use	16,183	m2	1.72	27,835		27,835
3	Breaking up existing roads surfacing and cart away	7,395	m2	21.30	157,514		157,514
4	Remove kerb		m	13.38	0		0
5	Cut to Fill - General Earthworks	5,141	m3	10.98	56,448		56,448
6	Imported Fill	1,159	m3	28.76	33,333		33,333
7	Remove signs	13	No	92.50	1,203		1,203
8	Remove bollards	29	No	51.25	1,486		1,486
	Subgrade Preparation						
9	Preparation, trim and compact	17,126	m2	6.13	104,982		104,982
	Sub Base and Base Course						
10	150mm thick crushed rock base course	16,588	m2	17.78	294,935		294,935
11	200mm thick compacted limestone sub base	17,126	m2	23.71	406,057		406,057
	Road Paving						
12	40mm thick (AC14)	15,236	m2	29.01	441,996		441,996
13	Extra over for 2% red oxide	2,689	m2	11.79	31,703		31,703
14	Primer seal	16,312	m2	8.39	136,858		136,858
15	150mm thick concrete infill to medians	276	m2	100.00	27,600		27,600
	<u>Kerbing</u>						
16	Mountable Kerb (MK)	0	m	28.92	0		0
17	Reinforced Flush Kerb (300mm)	1,793	m	71.38	127,984		127,984
18	Semi Mountable Kerb (SMK)	1,793	m	34.26	61,428		61,428
19	Barrier / Upright Kerb	0	m	56.57	0		0
20	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
21	Line marking	7,170	m	6.75	48,398		48,398
22	Chevron sign	0	No	652.06	0		0
23	Traffic sign	38	No	519.29	19,733		19,733
	Concrete Cycleways and Footpaths						
24	100 thick reinforced concrete footpath with broomed finish	2,951	m2	72.19	213,033		213,033
25	Allow to repair existing footpath to western side of Bertram Road	542	m2	90.38	48,986		48,986
26	Sand fill below concrete path including compaction (100mm)	3,493	m2	4.80	16,766		16,766
27	Pram ramp	0	no	926.68	0		0
28	Pram ramp including tactile	0	no	1,366.16	0		0
29	Tactile paving	0	m2	346.88	0		0
	Landscaping						
	Soft landscaping	8,149	m2	22.20	180,908		EXCL
	Landscape mix	1,612	m3	101.40	163,457		EXCL
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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
1.1	ROAD CONSTRUCTION						
	Rock pitching	185	m2	178.25	32,976		32,976
	Drainage layer	5,548	m2	36.83	204,333		INCL
	<u>Other</u>						
30	Allow to tie in to existing roads	2	Item	2,875.00	5,750		5,750
31	Allow to tie in to existing footpaths	1	Item	1,495.00	1,495		1,495
32	Allow to tie in to existing median	1	Item	2,643.94	2,644		2,644
	Street Lighting						
33	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	27	no	13,546.66	365,760		365,760
34	Remove existing lighting in preparation for new works	3	no	3,472.31	10,417		10,417
	<u>Drainage</u>						
35	Form swale	925	m	164.37	152,042		152,042
36	450dia reinforced concrete pipe including excavation and backfill	1,027	m	231.29	237,535		237,535
37	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	31	no	5,105.29	158,264		158,264
38	Combined Side Entry Pits - Supply and Install (1050mm)	0	no	4,645.43	0		0
39	Headwall to suit 450 pipe including stone pitching and connection to pipe	6	no	1,860.00	11,160		11,160
40	Basin construction	151	m	1,464.58	221,152		221,152
	Preliminaries and Project Costs						
41	Traffic Management	5.00	%		175,916		175,916
42	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		554,135		554,135
43	Project Owner's Cost (Planning and Design Costs)	7.50	%		318,628		318,628
44	Risk Contingency Allowance	10.00	%		456,700		456,700
	•						

ROAD CONSTRUCTION 5,023,700

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
1.2	UTILITIES						
	Electrical (Western Power)						
1	Provisional sum to underground all overhead power	290	m	1,414.09	410,185		410,185
	Communications (NBN / Telstra / Other)						
2	Provisional sum to to relocate existing communications pits and pipes in ground	368	m	401.12	147,613		147,613
	Water and Sewer (Water Corporation)						
3	Provisional sum to to relocate existing sewer pressure main	927	m	600.53	556,688		556,688
	Gas (ATCO)						
	Existing gas infrastructure does not seem to interfere with the works		Note				
	Preliminaries and Project Costs						
4	Traffic Management	5.00	%		55,724		55,724
5	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		175,532		175,532
6	Project Owner's Cost (Planning and Design Costs)	7.50	%		100,931		100,931
7	Risk Contingency Allowance	10.00	%		144,667		144,667

UTILITIES 1,591,340



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP

Job No: EST23-09

Code Description Quantity Unit Rate Total RWA Comments 2024

Code	Description	Quantity	Unit	Rate	l otal	RWA Comments 2024
2	DCA 1 - WELLARD ROAD					
2.1	Road Construction	2,041	m	8,127.07	16,586,695	
2.2	Utilities	2,041	m	3,586.51	7,319,775	

DCA 1 - WELLARD ROAD 23,906,470

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
2.1	ROAD CONSTRUCTION						-
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	37,912	m2	3.76	142,549		142,549
2	Removal of topsoil 250mm and stockpile for later re-use	37,912	m2	2.89	109,566		109,566
3	Remove trees	197	No	744.40	146,647		146,647
4	Breaking up existing roads surfacing and cart away	30,972	m2	21.30	659,704		659,704
5	Breaking up existing footpath and cart away	4,195	m2	21.30	89,354		89,354
6	Remove kerb	1,363	m	13.38	18,237		18,237
7	Cut to Fill - General Earthworks	11,374	m3	10.98	124,887		124,887
8	Imported Fill	3,792	m3	28.76	109,058		109,058
9	Limestone wall	153	m2	725.25	110,963		110,963
10	Remove bollards	6	no	51.25	308		308
11	Remove bus shelter	2	no	4,528.80	9,058		9,058
12	Remove limestone wall	103	m	96.93	9,984		9,984
13	Remove fencing	775	m	13.57	10,517		10,517
14	Remove existing headwall	4	No	1,248.75	4,995		4,995
	Subgrade Preparation						
15	Preparation, trim and compact	54,073	m2	6.13	331,467		331,467
	Sub Base and Base Course						
16	100mm thick crushed rock base course	102	m2	11.86	1,210		1,210
17	150mm thick crushed rock base course	50,492	m2	17.78	897,748		897,748
18	150mm thick compacted limestone sub base	54,073	m2	17.78	961,418		961,418
19	200mm thick compacted limestone sub base	2,582	m2	23.71	61,219		61,219
	Road Paving						
20	40mm thick (AC14)	48,123	m2	29.01	1,396,048		1,396,048
21	Extra over for 2% red oxide	0	m2	11.79	0		0
22	Primer seal	50,011	m2	8.39	419,592		419,592
23	80mm block paving including 30mm thick sand bed	2,357	m2	112.94	266,200		266,200
	Kerbing						
24	Mountable Kerb (MK)	1,238	m	28.92	35,803		35,803
25	Reinforced Flush Kerb (FK1)	3,186	m	71.38	227,417		227,417
26	Reinforced Flush Kerb (FK2)	2,969	m	71.38	211,927		211,927
27	Semi Mountable Kerb (SMK)	3,491	m	34.26	119,602		119,602
28	Barrier / Upright Kerb	0	m	56.57	0		0
29	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
30	Line marking	13,210	m	6.75	89,168		89,168
31	Chevron sign	0	No	652.06	0		0
32	Traffic sign	0	No	519.29	0		0
33	Safety barrier	1,852	m	511.97	948,168		948,168
34	Bike barrier fence	729	m	118.47	86,365		86,365
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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
2.1	ROAD CONSTRUCTION	Quantity	Jiil	Nato	Gubiolai	. 40101	Total
35	Remove and relocate existing signs	52	no	276.42	14,374		14,374
36	Remove and relocate existing gate		no	276.42	276		276
	Concrete Cycleways and Footpaths						
37	100 thick reinforced concrete footpath with broomed finish	4,009	m2	72.19	289,410		289,410
38	Sand fill below concrete path including compaction (100mm)	4,009	m2	4.80	19,243		19,243
39	30mm thick red asphalt footpath including 100mm thick crushed rock base and 150mm thick compacted sub-base (Pavement B)	4,453	m2	62.54	278,491		278,491
40	30mm thick red asphalt footpath including 200mm thick compacted sub-base (Pavement C)	1,170	m2	56.61	66,234		66,234
41	Pram ramp	29	no	926.68	26,874		26,874
42	Pram ramp including tactile	0	no	1,366.16	0		0
43	Tactile paving	92	m2	346.88	31,913		31,913
	<u>Landscaping</u>						
	Soft landscaping	13,501	m2	22.20	299,722		EXCL
	Landscape mix	3,185	m3	101.40	322,959		EXCL
	Rock pitching	926	m2	178.25	165,060		165,060
	Loose rock	78	m2	178.25	13,904		13,904
	Drainage layer	8,655	m2	36.83	318,764		INCL
	<u>Other</u>						
44	Allow to tie in to existing roads	4	Item	2,875.00	11,500		11,500
45	Allow to tie in to existing footpaths	14	Item	1,495.00	20,930		20,930
46	Allow to tie in to existing basin	2	Item	1,447.44	2,895		2,895
	Street Lighting						
47	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	52	no	13,546.66	704,426		704,426
48	Remove existing lighting in preparation for new works	13	no	3,472.31	45,140		45,140
	<u>Drainage</u>						
49	Remove existing pipe	486	no	142.63	69,318		69,318
50	Remove existing pits	28	no	1,799.78	50,394		50,394
51	Form swale	1,116	m	164.37	183,437		183,437
52	Drainage retention basin construction including limestone wall	654	m	1,464.58	957,835		957,835
53	300dia reinforced concrete pipe including excavation and backfill	1,503	m	190.90	286,923		286,923
54	375dia reinforced concrete pipe including excavation and backfill	381	m	200.23	76,288		76,288
55	450dia reinforced concrete pipe including excavation and backfill	301	m	231.29	69,618		69,618
56	525dia reinforced concrete pipe including excavation and backfill	41	m	262.35	10,756		10,756
57	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	50	no	5,105.29	255,265		255,265
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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
2.1	ROAD CONSTRUCTION						
58	Combined Side Entry Pits - Supply and Install (1050mm)	55	no	4,645.43	255,499		255,499
59	Double Side Entry Pits - Supply and Install	4	no	6,482.23	25,929		25,929
60	Junction Pits - Supply and Install	16	no	4,645.43	74,327		74,327
61	Headwall to suit 300 pipe	1	no	1,600.96	1,601		1,601
62	Headwall to suit 450 pipe	4	no	1,860.00	7,440		7,440
63	Headwall to suit 525 pipe	1	no	1,927.56	1,928		1,928
	Preliminaries and Project Costs						
64	Traffic Management	5.00	%		580,820		580,820
65	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		1,829,583		1,829,583
66	Project Owner's Cost (Planning and Design Costs)	7.50	%		1,052,010		1,052,010
67	Risk Contingency Allowance	10.00	%		1,507,881		1,507,881

ROAD CONSTRUCTION 16,586,695

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
2.2	UTILITIES						
	Electrical (Western Power)						
1	Provisional sum to underground all overhead power	706	m	1,315.73	929,549		929,549
2	Provisional sum to relocate underground power to northern side of road	2,041	m	774.32	1,580,334		1,580,334
	Communications (NBN / Telstra / Other)						
3	Provisional sum to to relocate existing communications pits and pipes in ground	2,041	m	675.82	1,379,348		1,379,348
	Water and Sewer (Water Corporation)						
4	Provisional sum to to relocate existing sewer pressure main	2,041	m	507.86	1,036,534		1,036,534
5	Provisional sum to to relocate existing water pressure main	231	m	868.40	200,600		200,600
	Gas (ATCO)						
	Existing gas infrastructure does not seem to interfere with the works		Note				
	Preliminaries and Project Costs						
6	Traffic Management	5.00	%		256,318		256,318
7	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		807,402		807,402
8	Project Owner's Cost (Planning and Design Costs)	7.50	%		464,256		464,256
9	Risk Contingency Allowance	10.00	%		665,434		665,434

UTILITIES 7,319,775



Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
3	DCA 1 - PEEL MAINDRAIN CULVERT					
3.1	Road Construction	25	m	37,867.45	943,278	
3.2	Utilities	25	m	0.00	0	

DCA 1 - PEEL MAINDRAIN CULVERT

943,278

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
3.1	ROAD CONSTRUCTION						
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	1,023	m2	3.76	3,846		3,846
2	Remove trees	5	No	744.40	3,722		3,722
3	Removal of topsoil 150mm and stockpile for later re-use	1,023	m2	1.72	1,760		1,760
4	Breaking up existing roads surfacing and cart away	0	m2	21.30	0		0
5	Detailed Excavation & Cartaway / Dispurse Surplus Material	335	m3	44.91	15,045		15,045
6	Imported Fill	1,152	m3	28.76	33,132		33,132
7	Remove existing fence	33	m	13.57	448		448
	Subgrade Preparation						
8	Preparation, trim and compact	581	m2	6.13	3,562		3,562
	Sub Base and Base Course						
9	100mm thick crushed rock base course	163	m2	11.86	1,933		1,933
10	150mm thick compacted limestone sub base	163	m2	17.78	2,898		2,898
	Road Paving						
11	30mm thick (AC10)	139	m2	21.11	2,934		2,934
12	Extra over for 2% red oxide	0	m2	11.79	0		0
13	Primer seal	152	m2	8.39	1,275		1,275
14	150mm thick concrete infill to medians	0	m2	100.00	0		0
	<u>Kerbing</u>						
15	Mountable Kerb (MK)	0	m	28.92	0		0
16	Reinforced Flush Kerb (300mm)	0	m	71.38	0		0
17	Semi Mountable Kerb (SMK)	42	m	34.26	1,439		1,439
18	Barrier / Upright Kerb	0	m	56.57	0		0
19	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
20	Line marking	60	m	6.75	405		405
21	Chevron sign	0	No	652.06	0		0
22	Traffic sign	2	No	519.29	1,039		1,039
23	Chainmesh fence	34	m	104.68	3,559		3,559
24	Chainmesh gates	2	No	710.80	1,422		1,422
25	Road barrier	43	m	511.97	22,015		22,015
26	Pedestrian barrier	45	m	425.40	19,143		19,143
27	Handrail	37	m	306.94	11,357		11,357
	Concrete Cycleways and Footpaths						
28	100 thick reinforced concrete footpath with broomed finish	107	m2	72.19	7,724		7,724
29	Sand fill below concrete path including compaction (100mm)	107	m2	4.80	514		514
30	Natural access path	34	m2	28.57	971		971
31	Pram ramp	0	no	926.68	0		0
32	Pram ramp including tactile	0	no	1,366.16	0		0
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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
3.1	ROAD CONSTRUCTION						
33	Tactile paving	0	m2	346.88	0		0
	<u>Landscaping</u>						
	Soft landscaping	128	m2	22.20	2,842		EXCL
	Landscape mix	0	m3	101.40	0		EXCL
	Rock pitching	238	m2	178.25	42,424		42,424
	Drainage layer	0	m2	36.83	0		INCL
	<u>Other</u>						
34	Allow to tie in to existing roads	1	Item	2,875.00	2,875		2,875
35	Allow to tie in to existing footpaths	2	Item	1,495.00	2,990		2,990
36	Allow to tie in to existing median	0	Item	2,643.94	0		0
	Street Lighting						
37	6.5 SOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	2	no	4,408.05	8,816		8,816
38	6.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	0	no	6,545.98	0		0
	<u>Drainage</u>						
39	450dia reinforced concrete pipe including excavation and backfill	25	m	231.29	5,782		5,782
40	Combined Side Entry Pits - Supply and Install (1050mm)	4	no	4,645.43	18,582		18,582
41	Allowance for dewatering	1	PS	26,924.00	26,924		26,924
42	Temporary drainage bypass	1	PS	16,154.40	16,154		16,154
43	100mm compacted thickness limestone subbase course	270	m2	17.78	4,801		4,801
44	300mm thick concrete base slab	81	m3	1,615.44	130,851		130,851
45	3000x1800 box culvert	20	no	10,994.69	219,894		219,894
46	Headwall, wingwalls and apron slab	25	m3	1,615.44	40,386		40,386
	Preliminaries and Project Costs						
47	Traffic Management	5.00	%		33,031		33,031
48	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		104,048		104,048
49	Project Owner's Cost (Planning and Design Costs)	7.50	%		59,827		59,827
50	Risk Contingency Allowance	10.00	%		85,753		85,753

ROAD CONSTRUCTION 943,278

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
3.2	UTILITIES						
	Electrical (Western Power)						
	Existing electrical infrastructure does not seem to interfere with the works		Note				
	Communications (NBN / Telstra / Other)						
	Existing communications infrastructure does not seem to interfere with the works		Note				
	Water and Sewer (Water Corporation)						
	Existing water and sewer infrastructure does not seem to interfere with the works		Note				
	Gas (ATCO)						
	Existing gas infrastructure does not seem to interfere with the works		Note				
	Preliminaries and Project Costs						
1	Traffic Management	5.00	%		0		0
2	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		0		0
3	Project Owner's Cost (Planning and Design Costs)	7.50	%		0		0
4	Risk Contingency Allowance	10.00	%		0		0

UTILITIES



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
4	DCA 2 - MILLAR ROAD					
4.1	ROAD CONSTRUCTION	540	m	1,901.81	1,027,416	
4.2	Utilities	540	m	0.00	0	

DCA 2 - MILLAR ROAD 1,027,416

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
4.1	ROAD CONSTRUCTION						
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	497	m2	3.76	1,869		1,869
2	Removal of topsoil 150mm and stockpile for later re-use	497	m2	1.72	855		855
3	Remove trees	0	No	744.40	0		0
4	Breaking up existing roads surfacing and cart away	126	m2	21.30	2,684		2,684
5	Reprofiling top layer only of existing road	820	m2	20.70	16,974		16,974
6	Breaking up existing footpath and cart away	0	m2	21.30	0		0
7	Remove kerb	0	m	13.38	0		0
8	Cut to Fill - General Earthworks	149	m3	10.98	1,636		1,636
9	Imported Fill	249	m3	28.76	7,161		7,161
10	Form embankment	0	m2	7.16	0		0
11	Remove signs	0	no	92.50	0		0
12	Remove guardrail	0	m	16.29	0		0
13	Remove fencing	0	m	13.57	0		0
14	Remove existing headwall	0	no	1,248.75	0		0
	Subgrade Preparation						
15	Preparation, trim and compact	65	m2	6.13	398		398
	Sub Base and Base Course						
16	130mm thick crushed rock base course	54	m2	15.42	833		833
17	150mm thick compacted limestone sub base	65	m2	17.78	1,156		1,156
	Road Paving						
18	30mm thick (AC10)	820	m2	21.11	17,310		17,310
19	Extra over for 2% red oxide	0	m2	11.79	0		0
20	Primer seal	847	m2	8.39	7,106		7,106
21	150mm thick concrete infill to medians	0	m2	100.00	0		0
	Kerbing						
22	Mountable Kerb (MK)	0	m	28.92	0		0
23	Reinforced Flush Kerb (300mm)	107	m	71.38	7,638		7,638
24	Semi Mountable Kerb (SMK)	107	m	34.26	3,666		3,666
25	Barrier / Upright Kerb	0	m	56.57	0		0
26	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
27	Line marking	107	m	6.75	722		722
28	Chevron sign	0	No	652.06	0		0
29	Traffic sign	0	No	519.29	0		0
30	Remove and relocate existing signs	0	no	276.42	0		0
	Concrete Cycleways and Footpaths						
31	100 thick reinforced concrete footpath with broomed finish	0	m2	72.19	0		0
32	Sand fill below concrete path including compaction (100mm)	0	m2	4.80	0		0

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
4.1	ROAD CONSTRUCTION						
33	Asphalt footpath including 150mm thick compacted sub-base	202	m2	87.17	17,608		17,608
34	Pram ramp	0	no	926.68	0		0
35	Pram ramp including tactile	0	no	1,366.16	0		0
36	Tactile paving	0	m2	346.88	0		0
	<u>Landscaping</u>						
	Soft landscaping	0	m2	22.20	0		EXCL
	Landscape mix	0	m3	101.40	0		0
	Rock pitching	0	m2	178.25	0		0
	Drainage layer	0	m2	36.83	0		0
	<u>Other</u>						
37	Allow to tie in to existing roads	1	Item	2,875.00	2,875		2,875
38	Allow to tie in to existing footpaths	1	Item	1,495.00	1,495		1,495
39	Allow to tie in to existing median	0	Item	2,643.94	0		0
	Street Lighting						
40	6.5 SOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	2	no	4,408.05	8,816		8,816
	Road Drainage						
41	Form swale	107	m	14.02	1,500		1,500
42	Rock check dam	0	No	323	0		0
43	450dia reinforced concrete pipe including excavation and backfill	0	m	231.29	0		0
44	525dia reinforced concrete pipe including excavation and backfill	0	m	262.35	0		0
45	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	0	no	5,105.29	0		0
46	Combined Side Entry Pits - Supply and Install (1050mm)	0	no	4,645.43	0		0
47	Headwall	0	no	1,927.56	0		0
48	Basin construction	0	m2	126.36	0		0
	Preliminaries and Project Costs						
49	Traffic Management	5.00	%		5,115		5,115
50	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		16,113		16,113
51	Project Owner's Cost (Planning and Design Costs)	7.50	%		9,265		9,265
52	Risk Contingency Allowance	10.00	%		13,279		13,279
	ACTUAL COSTS - CH36.77-186						
53	Actual costs for the construction of Millar Upgrade (CH36.77-186)	1	Item	98,245.20	98,245		98,245
	ACTUAL COSTS - CH186-470						
54	Actual costs for the construction of Millar Upgrade (CH186-470)	1	Item	783,096.86	783,097		783,097

ROAD CONSTRUCTION 1,027,416

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
4.2	UTILITIES						
	Electrical (Western Power)						
1	Provisional sum to relocate underground power to northern side of road	57	m	0.00	0		Excl.
	Communications (NBN / Telstra / Other)						
2	Provisional sum to to relocate existing communications pits and pipes in ground	107	m	0.00	0		Excl.
	Water and Sewer (Water Corporation)						
3	Provisional sum to to relocate existing water main	107	m	0.00	0		Excl.
	Gas (ATCO)						
4	Provisional sum to relocate gas main to northern side of road	107	m	0.00	0		Excl.
	Preliminaries and Project Costs						
5	Traffic Management	5.00	%		0		0
6	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		0		0
7	Project Owner's Cost (Planning and Design Costs)	7.50	%		0		0
8	Risk Contingency Allowance	10.00	%		0		0

UTILITIES 0



DCA 2 - MORTIMER ROAD

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
5	DCA 2 - MORTIMER ROAD					.
5.1	Road Construction	863	m	4,957.04	4,276,437	
5.2	Utilities	863	m	3,516.28	3,033,498	

DCA 2 - MORTIMER ROAD 7,309,935

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DCA 2 - MORTIMER ROAD

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
5.1	ROAD CONSTRUCTION						
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	10,912	m2	3.76	41,029		41,029
2	Removal of topsoil 150mm and stockpile for later re-use	10,912	m2	1.72	18,769		18,769
3	Remove trees	25	No	744.40	18,610		18,610
4	Breaking up existing roads surfacing and cart away	9,457	m2	21.30	201,434		201,434
5	Breaking up existing footpath and cart away	212	m2	21.30	4,516		4,516
6	Remove kerb	518	m	13.38	6,931		6,931
7	Cut to Fill - General Earthworks	8,663	m3	10.98	95,120		95,120
8	Imported Fill	2,888	m3	28.76	83,059		83,059
9	Remove signs	5	no	92.50	463		463
10	Remove guardrail	79	m	16.29	1,287		1,287
11	Remove fencing	222	m	13.57	3,013		3,013
12	Remove drainage structures	4	No	1,799.78	7,199		7,199
	Subgrade Preparation						
13	Preparation, trim and compact	12,431	m2	6.13	76,202		76,202
	Sub Base and Base Course						
14	150mm thick crushed rock base course	11,913	m2	17.78	211,813		211,813
15	200mm thick compacted limestone sub base	12,431	m2	23.71	294,739		294,739
	Road Paving						
16	40mm thick (AC14)	10,005	m2	29.01	290,245		290,245
17	Extra over for 2% red oxide	1,948	m2	11.79	22,967		22,967
18	Primer seal	11,045	m2	8.39	92,668		92,668
19	150mm thick concrete infill to medians	969	m2	100.00	96,900		96,900
	<u>Kerbing</u>						
20	Mountable Kerb (MK)	95	m	28.92	2,747		2,747
21	Reinforced Flush Kerb (300mm)	976	m	71.38	69,667		69,667
22	Semi Mountable Kerb (SMK)	3,232	m	34.26	110,728		110,728
23	Barrier / Upright Kerb	59	m	56.57	3,338		3,338
24	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
25	Line marking	5,177	m	6.75	34,945		34,945
26	Chevron sign	9	No	652.06	5,869		5,869
27	Traffic sign	35	No	519.29	18,175		18,175
28	Remove and relocate existing signs	2	no	276.42	553		553
	Concrete Cycleways and Footpaths						
29	100 thick reinforced concrete footpath with broomed finish	3,608	m2	72.19	260,462		260,462
30	Sand fill below concrete path including compaction (100mm)	3,608	m2	4.80	17,318		17,318
31	Pram ramp	0	no	926.68	0		0
32	Pram ramp including tactile	10	no	1,366.16	13,662		13,662

DCA 2 - MORTIMER ROAD

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
5.1	ROAD CONSTRUCTION						
33	Tactile paving	9	m2	346.88	3,122		3,122
	<u>Landscaping</u>						
	Soft landscaping	4,089	m2	22.20	90,776		EXCL
	Landscape mix	410	m3	101.40	41,574		EXCL
	Rock pitching	98	m2	178.25	17,469		17,469
	Drainage layer	1,464	m2	36.83	53,919		INCL
	<u>Other</u>						
34	Allow to tie in to existing roads	5	Item	2,875.00	14,375		14,375
35	Allow to tie in to existing footpaths	1	Item	1,495.00	1,495		1,495
36	Allow to tie in to existing median	1	Item	2,643.94	2,644		2,644
	Street Lighting						
37	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	25	no	13,546.66	338,667		338,667
	<u>Drainage</u>						
38	Form swale	488	m	77.89	38,010		38,010
39	450dia reinforced concrete pipe including excavation and backfill	872	m	231.29	201,685		201,685
40	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	17	no	5,105.29	86,790		86,790
41	Combined Side Entry Pits - Supply and Install (1050mm)	8	no	4,645.43	37,163		37,163
42	Headwall to suit 450 pipe including stone pitching and connection to pipe	1	no	1,860.00	1,860		1,860
43	Basin construction	1,640	m3	126.36	207,230		207,230
	Preliminaries and Project Costs						
44	Traffic Management	5.00	%	3,257,339	162,867		162,867
45	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%	3,257,339	488,601		488,601
46	Project Owner's Cost (Planning and Design Costs)	7.50	%	3,257,339	244,300		244,300
47	Risk Contingency Allowance	10.00	%	3,257,339	325,734		325,734

ROAD CONSTRUCTION 4,276,437

DCA 2 - MORTIMER ROAD

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
5.2	UTILITIES						
	Electrical (Western Power)						
1	Provisional sum to underground all overhead power	594	m	1,311.23	778,318		778,318
2	Provisional sum to relocate underground power to northern side of road	168	m	1,224.25	205,221		205,221
	Communications (NBN / Telstra / Other)						
3	Provisional sum to to relocate existing communications pits and pipes in ground	863	m	417.70	360,349		360,349
	Water and Sewer (Water Corporation)						
4	Provisional sum to to relocate existing water main	646	m	573.37	370,334		370,334
	Gas (ATCO)						
5	Provisional sum to relocate gas main to northern side of road	863	m	817.19	704,994		704,994
	Preliminaries and Project Costs						
6	Traffic Management	5.00	%		71,784		71,784
7	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		226,119		226,119
8	Project Owner's Cost (Planning and Design Costs)	7.50	%		130,019		130,019
9	Risk Contingency Allowance	10.00	%		186,360		186,360

UTILITIES 3,033,498



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP

Job No: EST23-09

RWA Comments 2024 Description Quantity Unit Rate Code Total 6 DCA 2 - SUNRISE BOULEVARD 6.1 Road Construction 408 m 3,502.09 1,428,956 6.2 Utilities 408 1,345.50 549,006 m

DCA 2 - SUNRISE BOULEVARD 1,977,962

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
6.1	ROAD CONSTRUCTION						
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	6,824	m2	3.76	25,658		25,658
2	Removal of topsoil 150mm and stockpile for later re-use	6,824	m2	3.47	23,679		23,679
3	Remove trees	37	No	744.40	27,543		27,543
4	Breaking up existing roads surfacing and cart away	630	m2	21.30	13,419		13,419
5	Breaking up existing footpath and cart away	270	m2	21.30	5,751		5,751
6	Remove kerb	180	m	13.38	2,408		2,408
7	Cut to Fill - General Earthworks	3,412	m3	10.98	37,464		37,464
8	Imported Fill	3,412	m3	28.76	98,129		98,129
9	Remove signs	0	no	92.50	0		0
10	Remove guardrail	0	m	16.29	0		0
11	Remove fencing	180	m	13.57	2,443		2,443
12	Remove drainage structures	4	No	1,799.78	7,199		7,199
	Subgrade Preparation						
13	Preparation, trim and compact	2,939	m2	6.13	18,016		18,016
	Sub Base and Base Course						
14	150mm thick crushed rock base course	2,939	m2	17.78	52,255		52,255
15	200mm thick compacted limestone sub base	2,939	m2	23.71	69,684		69,684
	Road Paving						
16	40mm thick (AC14)	2,449	m2	29.01	71,045		71,045
17	Extra over for 2% red oxide	0	m2	11.79	0		0
18	Primer seal	2,637	m2	8.39	22,124		22,124
19	150mm thick concrete infill to medians	0	m2	100.00	0		0
	<u>Kerbing</u>						
20	Mountable Kerb (MK)	0	m	28.92	0		0
21	Reinforced Flush Kerb (300mm)	0	m	71.38	0		0
22	Semi Mountable Kerb (SMK)	817	m	34.26	27,990		27,990
23	Barrier / Upright Kerb	0	m	56.57	0		0
24	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
25	Line marking	1,225	m	6.75	8,269		8,269
26	Chevron sign	1	No	652.06	652		652
27	Traffic sign	4	no	519.29	2,077		2,077
28	Remove and relocate existing signs	0	no	276.42	0		0
29	Fencing	753	m	134.62	101,369		101,369
	Concrete Cycleways and Footpaths						
30	100 thick reinforced concrete footpath with broomed finish	1,007	m2	72.19	72,695		72,695
31	Sand fill below concrete path including compaction (100mm)	1,007	m2	4.80	4,834		4,834
32	Pram ramp	2	no	926.68	1,853		1,853

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
6.1	ROAD CONSTRUCTION						
33	Pram ramp including tactile	0	no	1,366.16	0		0
34	Tactile paving	0	m2	346.88	0		0
	<u>Landscaping</u>						
	Soft landscaping	2,629	m2	22.20	58,364		EXCL
	Landscape mix	0	m3	101.40	0		EXCL
	Rock pitching	0	m2	178.25	0		0
	Drainage layer	0	m2	36.83	0		INCL
	<u>Other</u>						
35	Allow to tie in to existing roads	3	Item	2,875.00	8,625		8,625
36	Allow to tie in to existing footpaths	3	Item	1,495.00	4,485		4,485
37	Allow to tie in to existing median	0	Item	2,643.94	0		0
	Street Lighting						
38	6.5 SOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	24	no	4,408.05	105,793		105,793
	<u>Drainage</u>						
39	Form swale	0	m2		0		0
40	450dia reinforced concrete pipe including excavation and backfill	376	m	231.29	86,965		86,965
41	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	11	no	5,105.29	56,158		56,158
42	Combined Side Entry Pits - Supply and Install (1050mm)		no	4,645.43	0		0
43	100mm compacted thickness limestone subbase course	54	m2	17.78	960		960
44	150mm thick concrete base slab	8	m3	1,615.44	12,924		12,924
45	Culvert	30	m	650.63	19,519		19,519
46	Headwall	2	no	1,860.00	3,720		3,720
47	Basin construction	40	m3	126.36	5,054		5,054
	Preliminaries and Project Costs						
48	Traffic Management	5.00	%		50,038		50,038
49	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		157,620		157,620
50	Project Owner's Cost (Planning and Design Costs)	7.50	%		90,631		90,631
51	Risk Contingency Allowance	10.00	%		129,905		129,905

ROAD CONSTRUCTION 1,428,956

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
6.2	UTILITIES						•
	Electrical (Western Power)						
1	Provisional sum to relocate underground power to western side of road	105	m	1,499.14	157,634		157,634
	Communications (NBN / Telstra / Other)						
	No pits and pipes based on DBYD		Note				
	Water and Sewer (Water Corporation)						
2	Provisional sum to to relocate existing water main	105	m	1,125.99	118,398		118,398
	Gas (ATCO)						
3	Provisional sum to relocate gas main to northern side of road	105	m	1,480.72	155,697		155,697
	Preliminaries and Project Costs						
4	Traffic Management	5.00	%		13,705		13,705
5	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		43,170		43,170
6	Project Owner's Cost (Planning and Design Costs)	7.50	%		24,823		24,823
7	Risk Contingency Allowance	10.00	%		35,579		35,579

UTILITIES 549,006



RAWLINSONS DCA 3 - THOMAS ROAD (CONSTRUCTION **COMPLETE)**

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
7	DCA 3 - THOMAS ROAD (CONSTRUCTION COMP	LETE)				
7.1	Road Construction and Utilties		Item		9,264,930	

DCA 3 - THOMAS ROAD (CONSTRUCTION COMPLETE)

9,264,930

DCA 3 - THOMAS ROAD (CONSTRUCTION COMPLETE)

	ect: City of Kwinana DCP ng: City of Kwinana DCP	Details: CITY OF KWINANA DCP UPDATE 2024 Job No: EST23-09						
Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total	
7.1	ROAD CONSTRUCTION AND UTILTIES							
	Provided by City of Kwinana on 21/07/24							
	ACTUAL COSTS							
1	Actual costs for the construction of Thomas Road Upgrade (Length = 1107m)	1	Item	9,264,930.00	9,264,930		9,264,930	

ROAD CONSTRUCTION AND UTILTIES

9,264,930



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
8	DCA 4 - ANKETELL ROAD					
8.1	Road Construction	1,083	m	6,287.02	6,809,406	
8.2	Utilities	1,083	m	5,655.23	6,125,124	

DCA 4 - ANKETELL ROAD 12,934,529

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
8.1	ROAD CONSTRUCTION						-
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	24,937	m2	3.76	93,763		93,763
2	Removal of topsoil 150mm and stockpile for later re-use	24,937	m2	1.72	42,892		42,892
3	Remove trees	30	No	744.40	22,332		22,332
4	Breaking up existing roads surfacing and cart away	13,516	m2	21.30	287,891		287,891
5	Breaking up existing footpath and cart away	0	m2	21.30	0		0
6	Remove kerb	826	m	13.38	11,052		11,052
7	Cut to Fill - General Earthworks	7,482	m3	10.98	82,152		82,152
8	Imported Fill	4,988	m3	28.76	143,455		143,455
9	Remove signs	6	No	92.50	555		555
10	Remove bollards	25	No	51.25	1,281		1,281
11	Remove fencing	472	m	13.57	6,405		6,405
12	Remove bus shelter	1	No	4,528.80	4,529		4,529
	Subgrade Preparation						
13	Preparation, trim and compact	20,944	m2	6.13	128,387		128,387
	Sub Base and Base Course						
14	150mm thick crushed rock base course	18,390	m2	17.78	326,974		326,974
15	200mm thick compacted limestone sub base	19,040	m2	23.71	451,438		451,438
	Road Paving						
16	40mm thick (AC14)	14,077	m2	29.01	408,374		408,374
17	Extra over for 2% red oxide	3,250	m2	11.79	38,318		38,318
18	Primer seal	14,717	m2	8.39	123,476		123,476
19	150mm thick concrete infill to medians	2,511	m2	100.00	251,100		251,100
	<u>Kerbing</u>						
20	Mountable Kerb (MK)	0	m	28.92	0		0
21	Reinforced Flush Kerb (300mm)	941	m	71.38	67,169		67,169
22	Semi Mountable Kerb (SMK)	4,275	m	34.26	146,462		146,462
23	Barrier / Upright Kerb	0	m	56.57	0		0
24	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
25	Line marking	7,546	m	6.75	50,936		50,936
26	Chevron sign	0	No	652.06	0		0
27	Traffic sign	26	No	519.29	13,502		13,502
28	Remove and relocate existing signs	1	no	276.42	276		276
29	Allow for new bus shelter	1	No	26,654.76	26,655		EXCL
	Concrete Cycleways and Footpaths						
30	100 thick reinforced concrete footpath with broomed finish	5,757	m2	72.19	415,598		415,598
31	Sand fill below concrete path including compaction (100mm)	5,757	m2	4.80	27,634		27,634
32	Asphalt footpath including 150mm thick compacted sub-base	0	m2	87.17	0		0
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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
8.1	ROAD CONSTRUCTION						-
33	Pram ramp	0	no	926.68	0		0
34	Pram ramp including tactile	12	no	1,366.16	16,394		16,394
35	Tactile paving		m2	346.88	0		0
	<u>Landscaping</u>						
	Soft landscaping	9,434	m2	22.20	209,435		EXCL
	Landscape mix	682	m3	101.40	69,155		EXCL
	Rock pitching	79	m2	178.25	14,082		14,082
	Drainage layer	2,352	m2	36.83	86,624		INCL
	<u>Other</u>						
36	Allow for traffic signals at 4-way intersection	1	item	513,748.06	513,748		513,748
37	Allow to tie in to existing roads	3	Item	2,875.00	8,625		8,625
38	Allow to tie in to existing footpaths	1	Item	1,495.00	1,495		1,495
39	Allow to tie in to existing median	1	Item	2,643.94	2,644		2,644
	Street Lighting						
40	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	35	no	13,546.66	474,133		474,133
	Road Drainage						
41	Form swale	471	m	129.82	61,145		61,145
42	450dia reinforced concrete pipe including excavation and backfill	1,474	m	231.29	340,921		340,921
43	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	16	no	5,105.29	81,685		81,685
44	Combined Side Entry Pits - Supply and Install (1050mm)	14	no	4,645.43	65,036		65,036
45	Headwall	4	no	1,860.00	7,440		7,440
46	Basin construction	282	m3	126.36	35,634		35,634
	Preliminaries and Project Costs						0
47	Traffic Management	5.00	%		238,446		238,446
48	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		751,106		751,106
49	Project Owner's Cost (Planning and Design Costs)	7.50	%		431,886		431,886
50	Risk Contingency Allowance	10.00	%		619,037		619,037

ROAD CONSTRUCTION 6,809,406

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
8.2	UTILITIES						
	Electrical (Western Power)						
1	Provisional sum to underground all overhead power	798	m	1,385.29	1,105,464		1,105,464
2	Provisional sum to relocate underground power	736	m	1,249.00	918,636		918,636
	Communications (NBN / Telstra / Other)						
3	Provisional sum to to relocate existing communications pits and pipes in ground	1,083	m	962.89	1,042,893		1,042,893
	Water and Sewer (Water Corporation)						
4	Provisional sum to to relocate existing water main	844	m	660.32	557,308		557,308
	Gas (ATCO)						
5	Provisional sum to relocate gas main to southern side of road	844	m	1,507.02	1,271,928		1,271,928
	Preliminaries and Project Costs						
6	Traffic Management	5.00	%		143,606		143,606
7	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		452,360		452,360
8	Project Owner's Cost (Planning and Design Costs)	7.50	%		260,107		260,107
9	Risk Contingency Allowance	10.00	%		372,820		372,820

UTILITIES 6,125,124



RAWLINSONS DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024 Building: City of Kwinana DCP Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
9	DCA 5 - HONEYWOOD AVENUE (CORDATA ROA	D)				
9.1	Road Construction	491	m	3,892.46	1,909,331	
9.2	Utilities	491	m	1,572.79	771,486	

DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)

2,680,816

DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
9.1	ROAD CONSTRUCTION						•
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	13,587	m2	3.76	51,087		51,087
2	Removal of topsoil 150mm and stockpile for later re-use	13,587	m2	1.72	23,370		23,370
3	Remove trees	25	No	744.40	18,610		18,610
4	Breaking up existing roads surfacing and cart away	106	m2	21.30	2,258		2,258
5	Breaking up existing footpath and cart away	0	m2	21.30	0		0
6	Remove kerb	0	m	13.38	0		0
7	Cut to Fill - General Earthworks	4,077	m3	10.98	44,765		44,765
8	Imported Fill	2,968	m3	28.76	85,360		85,360
9	Remove signs	1	No	92.50	93		93
10	Remove fencing	29	m	13.57	394		394
	Subgrade Preparation						
11	Preparation, trim and compact	6,277	m2	6.13	38,479		38,479
	Sub Base and Base Course						
12	150mm thick crushed rock base course	4,937	m2	17.78	87,780		87,780
13	200mm thick compacted limestone sub base	5,231	m2	23.71	124,027		124,027
	Road Paving						
14	40mm thick (AC14)	4,089	m2	29.01	118,622		118,622
15	Extra over for 2% red oxide	0	m2	11.79	0		0
16	Primer seal	4,384	m2	8.39	36,782		36,782
17	150mm thick concrete infill to medians	259	m2	100.00	25,900		25,900
	<u>Kerbing</u>						
18	Mountable Kerb (MK)	1,158	m	28.92	33,489		33,489
19	Reinforced Flush Kerb (300mm)	818	m	71.38	58,389		58,389
20	Semi Mountable Kerb (SMK)	0	m	34.26	0		0
21	Barrier / Upright Kerb	0	m	56.57	0		0
22	Kerb openings	0	no	373.56	0		o
	Line Marking and Furniture						
23	Line marking	1,963	m	6.75	13,250		13,250
24	Chevron sign	0	No	652.06	0		0
25	Traffic sign	10	No	519.29	5,193		5,193
26	Remove and relocate existing signs	0	no	276.42	0		О
	Concrete Cycleways and Footpaths						
27	100 thick reinforced concrete footpath with broomed finish	2,448	m2	72.19	176,721		176,721
28	Sand fill below concrete path including compaction (100mm)	2,448	m2	4.80	11,750		11,750
29	Asphalt footpath including 150mm thick compacted sub-base	0	m2	87.17	0		0
30	Pram ramp	0	no	926.68	0		0
31	Pram ramp including tactile	2	no	1,366.16	2,732		2,732
32	Tactile paving		m2	346.88	0		0
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DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
9.1	ROAD CONSTRUCTION						
	Landscaping						
	Soft landscaping	4,920	m2	22.20	109,224		EXCL
	Landscape mix	593	m3	101.40	60,130		EXCL
	Rock pitching	69	m2	178.25	12,299		12,299
	Drainage layer	2,045	m2	36.83	75,317		INCL
	<u>Other</u>						
33	Allow to tie in to existing roads	2	Item	2,875.00	5,750		5,750
34	Allow to tie in to existing footpaths	4	Item	1,495.00	5,980		5,980
35	Allow to tie in to existing median	2	Item	2,643.94	5,288		5,288
	Street Lighting						
36	6.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and	15	no	6,545.98	98,190		98,190
	Road Drainage						
37	Form swale	409	m	129.82	53,096		53,096
38	450dia reinforced concrete pipe including excavation and backfill	551	m	231.29	127,441		127,441
39	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	11	no	5,105.29	56,158		56,158
40	Combined Side Entry Pits - Supply and Install (1050mm)	3	no	4,645.43	13,936		13,936
41	Headwall	0	no	1,860.00	0		0
42	Basin construction	0	m3		0		0
	Preliminaries and Project Costs						0
43	Traffic Management	5.00	%		66,859		66,859
44	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		210,607		210,607
45	Project Owner's Cost (Planning and Design Costs)	7.50	%		121,099		121,099
46	Risk Contingency Allowance	10.00	%		173,576		173,576

ROAD CONSTRUCTION 1,909,331

DCA 5 - HONEYWOOD AVENUE (CORDATA ROAD)

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
9.2	UTILITIES						
	Electrical (Western Power)						
	Existing power works at Anketell Road covered in DCA 4		Note				
	Communications (NBN / Telstra / Other)						
	Existing infrastructure at Cordata Avenue / Atalaya Loop intersection does not seem to interfere with the road		Note				
	Existing infrastructure at Anketell Road covered elsewhere		Note				
	Water and Sewer (Water Corporation)						
1	Provisional sum to to relocate existing sewer main and manholes	545	m	991.39	540,306		540,306
	Gas (ATCO)						
	Existing gas at Cordata Avenue / Atalaya Loop intersection does not seem to interefere with the road		Note				
	Preliminaries and Project Costs	5 00	0.4		07.045		07.045
2	Traffic Management	5.00			27,015		27,015
3	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		85,098		85,098
4	Project Owner's Cost (Planning and Design Costs)	7.50	%		48,931		48,931
5	Risk Contingency Allowance	10.00	%		70,135		70,135

UTILITIES 771,486



DCA 5 - LYON ROAD (CONSTRUCTION COMPLETE)

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024			
10	DCA 5 - LYON ROAD (CONSTRUCTION COMPLETE)								
10.1	Road Construction and Utilties		Item		4,343,010				

DCA 5 - LYON ROAD (CONSTRUCTION COMPLETE)

4,343,010

DCA 5 - LYON ROAD (CONSTRUCTION COMPLETE)

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
10.1	ROAD CONSTRUCTION AND UTILTIES						
	Extracted from DCP 2022 and "Provided by City of Kwinana on 28/04/2021":						
	Road Construction:						
1	North - Honeywood (2016 RJV actuals - Satterleys section)	1	Item	2,524,275.19	2,524,275		2,524,275
2	North - Honeywood (2016 RJV actuals - variations - Satterleys section)	1	Item	206,070.23	206,070		206,070
3	North - Honeywood (2016 RJV actuals - Galati section)	1	Item	221,984.50	221,985		221,985
4	South - Honeywood Rise (2016 RJV actuals - Satterley section)	1	Item	746,656.83	746,657		746,657
5	South - Honeywood Rise (Stage 4 actuals - Satterly section)	1	Item	188,832.22	188,832		188,832
	CHAINAGE 2540m - 2740m						
6	Engineering Design	1	Item	8,902.63	8,903		8,903
7	Road Construction	1	Item	112,970.58	112,971		112,971
8	Road Construction VOs		Note		EXCL		EXCL
9	Survey	1	Item	1,800.00	1,800		1,800
10	Lighting Design	1	Item	3,047.25	3,047		3,047
11	Lighting Construction	1	Item	21,189.48	21,189		21,189
12	Linemarking	1	Item	2,803.50	2,804		2,804
13	Supervision Fee	1	Item	1,381.09	1,381		1,381
	CHAINAGE 2740m - 2903m						
14	Engineering Design	1	Item	6,920.00	6,920		6,920
15	Road Construction	1	Item	228,299.86	228,300		228,300
16	Road Construction VOs	1	Item	38,268.99	38,269		38,269
17	Survey	1	Item	3,400.00	3,400		3,400
18	Lighting Design	1	Item	5,862.66	5,863		5,863
19	Lighting Construction	1	Item	11,607.00	11,607		11,607
20	Linemarking	1	Item	4,732.46	4,732		4,732
21	Supervision Fee	1	Item	3,998.53	3,999		3,999

ROAD CONSTRUCTION AND UTILTIES

4,343,010



Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
11	DCA 6 - HAMMOND ROAD					
11.1	Road Construction	373	m	6,066.55	2,264,460	
11.2	Utilities	373	m	0.00	0	

DCA 6 - HAMMOND ROAD 2,264,460

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Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
11.1	ROAD CONSTRUCTION						
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	26,056	m2	3.76	97,971		97,971
2	Removal of topsoil 150mm and stockpile for later re-use	26,056	m2	1.72	44,816		44,816
3	Removal of existing topsoil stockpile	5,103	m3	23.16	118,185		118,185
4	Remove trees	0	No	744.40	0		0
5	Breaking up existing roads surfacing and cart away	0	m2	21.30	0		0
6	Breaking up existing footpath and cart away	0	m2	21.30	0		0
7	Remove kerb	0	m	13.38	0		0
8	Cut to Fill - General Earthworks	26,320	m3	10.98	288,994		288,994
9	Imported Fill	2,606	m3	28.76	74,949		74,949
10	Form embankment	3,355	m2	7.16	24,022		24,022
11	Remove signs	0	no	92.50	0		0
12	Remove guardrail	0	m	16.29	0		0
13	Remove fencing	0	m	13.57	0		0
14	Remove existing headwall	0	No	1,248.75	0		0
	Subgrade Preparation						
15	Preparation, trim and compact	5,188	m2	6.13	31,802		31,802
	Sub Base and Base Course						
16	150mm thick crushed rock base course	4,716	m2	17.78	83,850		83,850
17	200mm thick compacted limestone sub base	4,716	m2	23.71	111,816		111,816
	Road Paving						
18	40mm thick (AC14)	3,733	m2	29.01	108,294		108,294
19	Extra over for 2% red oxide	1,120	m2	11.79	13,205		13,205
20	Primer seal	3,920	m2	8.39	32,889		32,889
21	150mm thick concrete infill to medians	88	m2	100.00	8,800		8,800
	Kerbing						
22	Mountable Kerb (MK)	0	m	28.92	0		0
23	Reinforced Flush Kerb (300mm)	667	m	71.38	47,610		47,610
24	Semi Mountable Kerb (SMK)	776	m	34.26	26,586		26,586
25	Barrier / Upright Kerb	0	m	56.57	0		0
26	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
27	Line marking	2,240	m	6.75	15,120		15,120
28	Chevron sign	1	No	652.06	652		652
29	Traffic sign	8	No	519.29	4,154		4,154
30	Remove and relocate existing signs	0	no	276.42	0		0
	Concrete Cycleways and Footpaths						
31	100 thick reinforced concrete footpath with broomed finish	840	m2	72.19	60,640		60,640
32	Sand fill below concrete path including compaction (100mm)	840	m2	4.80	4,032		4,032

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
11.1	ROAD CONSTRUCTION						
33	Asphalt footpath including 150mm thick compacted sub-base	0	m2	87.17	0		0
34	Pram ramp	0	no	926.68	0		0
35	Pram ramp including tactile	0	no	1,366.16	0		0
36	Tactile paving	0	m2	346.88	0		0
	Landscaping						
	Soft landscaping	2,747	m2	22.20	60,983		EXCL
	Landscape mix	601	m3	101.40	60,941		EXCL
	Rock pitching	0	m2	178.25	0		0
	Drainage layer	2,001	m2	36.83	73,697		INCL
	<u>Other</u>						
37	Allow to tie in to existing roads	0	Item	2,875.00	0		0
38	Allow to tie in to existing footpaths	0	Item	1,495.00	0		0
39	Allow to tie in to existing median	0	Item	2,643.94	0		0
	Street Lighting						
40	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	11	No	13,546.66	149,013		149,013
	Road Drainage						
41	Form swale	928	m	164.37	152,535		152,535
42	Rock check dam	5	No	323	1,615		1,615
43	450dia reinforced concrete pipe including excavation and backfill	105	m	231.29	24,285		24,285
44	525dia reinforced concrete pipe including excavation and backfill	20	m	262.35	5,247		5,247
45	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	2	no	5,105.29	10,211		10,211
46	Combined Side Entry Pits - Supply and Install (1050mm)	1	no	4,645.43	4,645		4,645
47	Headwall	1	no	1,927.56	1,928		1,928
48	Basin construction	301	m2	126.36	38,034		38,034
	Preliminaries and Project Costs						
49	Traffic Management	5.00	%		79,295		79,295
50	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		249,780		249,780
51	Project Owner's Cost (Planning and Design Costs)	7.50	%		143,623		143,623
52	Risk Contingency Allowance	10.00	%		205,860		205,860

ROAD CONSTRUCTION 2,264,460

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
11.2	UTILITIES						
	Electrical (Western Power)						
	No existing infrastructure based DBYD Drawings		Note				
	Communications (NBN / Telstra / Other)						
	No existing infrastructure based DBYD Drawings		Note				
	Water and Sewer (Water Corporation)						
	No existing infrastructure based DBYD Drawings		Note				
	Gas (ATCO)						
	No existing infrastructure based DBYD Drawings		Note				
	Preliminaries and Project Costs						
1	Traffic Management	5.00	%		0		0
2	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		0		0
3	Project Owner's Cost (Planning and Design Costs)	7.50	%		0		0
4	Risk Contingency Allowance	10.00	%		0		0

UTILITIES 0



Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP

Job No: EST23-09

Code	Description	Quantity	Unit	Rate	Total	RWA Comments 2024
12	DCA 6 - CONNECTOR ROAD (HAMMOND ROAD B	EXTENSION)				
12.1	Road Construction	488	m	4,947.52	2,412,660	
12.2	Utilities	488	m	0.00	0	

DCA 6 - CONNECTOR ROAD (HAMMOND ROAD EXTENSION)

2,412,660

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
12.1	ROAD CONSTRUCTION						-
	Earthworks and Site Preparation						
1	Site Clearance (based on light shrubs)	20,642	m2	3.76	77,614		77,614
2	Removal of topsoil 150mm and stockpile for later re-use	20,642	m2	1.72	35,504		35,504
3	Remove trees	10	No	744.40	7,444		7,444
4	Breaking up existing roads surfacing and cart away	0	m2	21.30	0		0
5	Breaking up existing footpath and cart away	0	m2	21.30	0		0
6	Remove kerb	0	m	13.38	0		0
7	Cut to Fill - General Earthworks	37,959	m3	10.98	416,790		416,790
8	Imported Fill	2,065	m3	28.76	59,389		59,389
9	Form embankment	5,808	m2	7.16	41,585		41,585
10	Remove signs	0	no	92.50	0		0
11	Remove guardrail	0	m	16.29	0		0
12	Remove fencing	0	m	13.57	0		0
13	Remove existing headwall	0	no	1,248.75	0		0
	Subgrade Preparation						
14	Preparation, trim and compact	6,121	m2	6.13	37,522		37,522
	Sub Base and Base Course						
15	150mm thick crushed rock base course	6,121	m2	17.78	108,831		108,831
16	200mm thick compacted limestone sub base	6,121	m2	23.71	145,129		145,129
	Road Paving						
17	40mm thick (AC14)	4,877	m2	29.01	141,482		141,482
18	Extra over for 2% red oxide	1,463	m2	11.79	17,249		17,249
19	Primer seal	5,121	m2	8.39	42,965		42,965
20	150mm thick concrete infill to medians	74	m2	100.00	7,400		7,400
	<u>Kerbing</u>						
21	Mountable Kerb (MK)	0	m	28.92	0		0
22	Reinforced Flush Kerb (300mm)	951	m	71.38	67,882		67,882
23	Semi Mountable Kerb (SMK)	1,040	m	34.26	35,630		35,630
24	Barrier / Upright Kerb	0	m	56.57	0		0
25	Kerb openings	0	no	373.56	0		0
	Line Marking and Furniture						
26	Line marking	2,926	m	6.75	19,751		19,751
27	Chevron sign	0	No	652.06	0		0
28	Traffic sign	10	No	519.29	5,193		5,193
29	Remove and relocate existing signs	0	no	276.42	0		0
	Concrete Cycleways and Footpaths						
30	100 thick reinforced concrete footpath with broomed finish	1,220	m2	72.19	88,072		88,072
31	Sand fill below concrete path including compaction (100mm)	1,220	m2	4.80	5,856		5,856
32	Asphalt footpath including 150mm thick compacted sub-base	0	m2	87.17	0		0
19/12/202	4 03:24:18 pm	Rawlinsor	ns WA				Page 44 of 46

Project: City of Kwinana DCP Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
12.1	ROAD CONSTRUCTION						
33	Pram ramp	0	no	926.68	0		0
34	Pram ramp including tactile	0	no	1,366.16	0		0
35	Tactile paving	0	m2	346.88	0		0
	Landscaping						
	Soft landscaping	3,351	m2	22.20	74,392		EXCL
	Landscape mix	713	m3	101.40	72,298		EXCL
	Rock pitching	0	m2	178.25	0		0
	Drainage layer	2,376	m2	36.83	87,508		INCL
	<u>Other</u>						
36	Allow to tie in to existing roads	0	Item	2,875.00	0		0
37	Allow to tie in to existing footpaths	0	Item	1,495.00	0		0
38	Allow to tie in to existing median	0	Item	2,643.94	0		0
	Street Lighting						
39	12.5 DOR Street Light Pole incl. all conduits, light cabling, excavation, and related overheads	14	no	13,546.66	189,653		189,653
	Road Drainage						
40	Form swale	814	m	164.37	133,797		133,797
41	Rock check dam	23	No	215	4,954		4,954
42	450dia reinforced concrete pipe including excavation and backfill	0	m	231.29	0		0
43	525dia reinforced concrete pipe including excavation and backfill	0	m	262.35	0		0
44	Raised gully / bubble up pits (1200mm) including liner, cover, grate, excavation, rock pitching, and associated works	0	no	5,105.29	0		0
45	Combined Side Entry Pits - Supply and Install (1050mm)	0	no	4,645.43	0		0
46	Headwall	0	no	1,927.56	0		0
47	Basin construction	0	m2	126.36	0		0
	Preliminaries and Project Costs						
48	Traffic Management	5.00	%		84,485		84,485
49	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		266,127		266,127
50	Project Owner's Cost (Planning and Design Costs)	7.50	%		153,023		153,023
51	Risk Contingency Allowance	10.00	%		219,333		219,333

ROAD CONSTRUCTION 2,412,660

Project: City of Kwinana DCP

Details: CITY OF KWINANA DCP UPDATE 2024

Building: City of Kwinana DCP **Job No:** EST23-09

Code	Description	Quantity	Unit	Rate	Subtotal	Factor	Total
12.2	UTILITIES						
	Electrical (Western Power)						
	No existing infrastructure based DBYD Drawings		Note				
	Communications (NBN / Telstra / Other)						
	No existing infrastructure based DBYD Drawings		Note				
	Water and Sewer (Water Corporation)						
	No existing infrastructure based DBYD Drawings		Note				
	Gas (ATCO)						
	No existing infrastructure based DBYD Drawings		Note				
	Preliminaries and Project Costs						
1	Traffic Management	5.00	%		0		0
2	Project Overheads and Preliminaries (Indirect Construction Costs)	15.00	%		0		0
3	Project Owner's Cost (Planning and Design Costs)	7.50	%		0		0
4	Risk Contingency Allowance	10.00	%		0		0

UTILITIES 0



CITY OF KWINANA DCP Cost Update 2024

ANNEXURE B – Road Landscaping Cost Breakdown



Bertram Road, Wellard

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions 8 Comments
Median Swales	-	30.37	-		32.42	-	=		35.03	-	-	Allowance for grading, mulch, planting
Verges	5,190	41.11	213,363		45.44	235,834	235,834		48.55	251,975	251,975	Allowance for grading, mulch, planting
Street Trees	28	445.21	12,466		483.01	13,524	13,524		515.27	14,428	14,428	
Sub-Tot	al 5,218		225,829	-		249,358	249,358			266,402	266,402	
Total Footprint Co	st 5,218		225,829	-		249,358	249,358	-		266,402	266,402	
Preliminaries and Marqin	1		Excluded		20.00%	49,872	49,872		20.00%	53,280	53,280	
Traffic Management			Excluded		5.00%	12,468	12,468		5.00%	15,984	15,984	
Allowance for Professional Fees			Excluded		7.00%	17,455	17,455		7.00%	23,497	23,497	
Contingency	10.0%		22,583		10.00%	24,936	24,936		10.00%	35,916	35,916	
Tot	al		22,583	-		104,730	104,730	-		128,678	128,678	
Tot	ai	47.61	248,412	-	68	354,088	354,088	-	76	395,080	395,080	



Wellard Road, Wellard

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions a Comments
Preliminaries			367,239			383,137	383,137			416,534	416,534	
Site Preparation			56,404			59,299	59,299			64,468	64,468	
Hardworks			10,404			10,938	10,938			11,891	11,891	
Landscape Works			1,567,745			1,648,213	1,648,213			1,791,885	1,791,885	
Reticulation Works			187,605			197,234	197,234			214,427	214,427	
Sub-Tota	35,132	62	2,189,397		- 65	2,298,821	2,298,821		71	2,499,205	2,499,205	
Total Footprint Cos	t 35,132	62	2,189,397	-	65	2,298,821	2,298,821	_	71	2,499,205	2,499,205	
Contingency			252,592			344,823	344,823			374,881	374,881	5% allowance
Other works by the City			61,309			114,941	114,941			143,704	143,704	% allowance
Professional Consultation Fees			28,159			45,976	45,976			60,356	60,356	% allowance (landscape architect)
Tota	I		342,060	-		505,740	505,740	-		578,941	578,941	
Tota	ı	72	2,531,457	-	80	2,804,561	2,804,561	-	88	3,078,146	3,078,146	



Millar Road

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Landscape Architect - Design and Contract Admin:	1.00	13,250.00	13,250			13,250	13,250	13,250			13,250	Works have been completed
Landscape Contractor - installation:	1.00	47,782.25	47,782			47,782	47,782	47,782			47,782	
Landscape Contractor - 2 year maintenance	1.00	13,403.39	13,403			13,403	13,403	13,403			13,403	
Developer Project Management & Administration @ 5%:	1.00	3,721.78	3,722			3,722	3,722	3,722		i	3,722	
Sub-To	tal		78,157			78,157	78,157	78,157			78,157	
Total Footprint C	st		78,157	-		-	78,157	78,157			78,157	
To	tal		-	-		-	78,157	78,157			78,157	
To	tal		78,157	-		-	78,157	78,157			78,157	



Mortimer Road, Wellard

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions 8 Comments
Median Swales	1,100	30.37	33,407		32.42	35,662	35,662		35.03	38,533	38,533	Allowance for grading, mulch, planting
Verges Verges	3,130	41.11	128,676		45.44	142,227	142,227		48.55	151,962	151,962	Allowance for grading, mulch, planting
Street Trees	75	445.21	33,391		483.01	36,226	36,226		515.27	38,645	38,645	
Sub-To	al 4,305		195,473	-		214,115	214,115	-		229,140	229,140	
Total Footprint Co	st 4,305		195,473			214,115	214,115			229,140	229,140	
Preliminaries and Margin			Excluded		20.00%	42,823	42,823		20.00%	45,828	45,828	
Fraffic Management			Excluded		5.00%	10,706	10,706		5.00%	13,748	13,748	
Allowance for Professional Fees			Excluded		7.00%	14,988	14,988		7.00%	20,210	20,210	
Contingency	10.0%		19,547		10.00%	21,411	21,411		10.00%	30,893	30,893	
To	al		19,547	-		89,928	89,928	-		110,679	110,679	
Tol	ai	49.95	215,020	-	71	304,043	304,043	-	79	339,819	339,819	



Sunrise Boulevard, Wellard - 15.4m wide

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales	-	30.37	-		32.42	-	-		35.03	-	-	Allowance for grading, mulch, planting
Verges	2,074	41.11	85,263		45.44	94,243	94,243		48.55	100,693	100,693	Allowance for grading, mulch, planting
Street Trees	34	445.21	15,137		483.01	16,422	16,422		515.27	17,519	17,519	
Sub-Tota	ıl 2,108		100,400			110,665	110,665			118,212	118,212	
			-									
Total Footprint Cos	t 2,108		100,400			110,665	110,665			118,212	118,212	
Preliminaries and Margin	i		Excluded		20.00%	22,133	22,133		20.00%	23,642	23,642	
Traffic Management			Excluded		5.00%	5,533	5,533		5.00%	7,093	7,093	
Allowance for Professional Fees			Excluded		7.00%	7,747	7,747		7.00%	10,426	10,426	
Contingency	10%		10,040		10.00%	11,066	11,066		10.00%	15,937	15,937	
Tota	al .		10,040			46,479	46,479			57,099	57,099	
Tota	ıl	52.39	110,440		75	157,144	157,144		83	175,311	175,311	
Lot 440 (180m)	180		47,332			67,347	67,347			75,133	75,133	
Lot 28 (121m)	121		31,817			45,272	45,272			50,506	50,506	
Lot 59 (119m)	119		31,291			44,524	44,524			49,671	49,671	



Sunrise Boulevard, Wellard - 19.4m wide

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales	-	30.37	-		32.42	-	=		35.03	-	-	Allowance for grading, mulch, planting
Verges	2,995	41.11	123,126		45.44	136,093	136,093		48.55	145,407	145,407	Allowance for grading, mulch, planting
Street Trees	34	445.21	15,137		483.01	16,422	16,422		515.27	17,519	17,519	
Sub-Total	3,029		138,263			152,515	152,515			162,926	162,926	
	ļ											
Total Footprint Cost	3,029		138,263			152,515	152,515			162,926	162,926	
Preliminaries and Margin	1	1	Excluded		20.00%	30,503	30,503	<u> </u>	20.00%	32,585	32,585	
Traffic Management			Excluded		5.00%	7,626	7,626		5.00%	9,776	9,776	
Allowance for Professional Fees			Excluded		7.00%	10,676	10,676		7.00%	14,370	14,370	
Contingency	10%		13,826		10.00%	15,252	15,252		10.00%	21,966	21,966	
Total			13,826			64,056	64,056			78,697	78,697	
Total		50.21	152,089		71	216,571	216,571		80	241,623	241,623	
Lot 440 (180m)	180		65,181			92,816	92,816			103,553	103,553	
Lot 28 (121m)	121		43,816			62,393	62,393			69,610	69,610	
Lot 59 (119m)	119		43,092			61,362	61,362			68,460	68,460	



Thomas Road, Wellard

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales	6,140	30.37	186,470	32.42	199,059	199,059	35.03	215,084	215,084	Allowance for grading, mulch, planting
Verges	15,800	41.11	649,545	45.44	717,952	717,952	48.55	767,090	767,090	Allowance for grading, mulch, planting
Street Trees	125	445.21	55,651	483.01	60,376	60,376	515.27	64,409	64,409	
Sub-To	al 22,065		891,666		977,387	977,387		1,046,583	1,046,583	
Total Footprint Co	st 22,065		891,666		977,387	977,387		1,046,583	1,046,583	
Preliminaries and Margin			Excluded	20.00%		195,477	20.00%		209,317	
Traffic Management			Excluded	5.00%	48,869	48,869	5.00%	62,795	62,795	
Allowance for Professional Fees			Excluded	7.00%	68,417	68,417	7.00%	92,309	92,309	
Contingency	10%		89,167	10.00%	97,739	97,739	10.00%	141,100	141,100	
То	al		89,167		410,503	410,503		505,520	505,520	
To	al	44.45	980,833	63	1,387,890	1,387,890	70	1,552,103	1,552,103	



Anketell Road, Wellard

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs Unit	t Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales	1,970	30.37	59,828		32.42	63,867	63,867		35.03	69,009	69,009	Allowance for grading, mulch, planting
Verges	11,840	41.11	486,747		45.44	538,010	538,010		48.55	574,832	574,832	Allowance for grading, mulch, planting
Street Trees	109	445.21	48,528		483.01	52,648	52,648		515.27	56,164	56,164	
Sub-T	otal 13,919		595,104			654,525	654,525			700,006	700,006	
Total Footprint (ost 13,919		595,104			654,525	654,525			700,006	700,006	
Preliminaries and Margin	i i	1	Excluded	l l	20.00%	130,905	130,905		20.00%	140,001	140,001	
Traffic Management			Excluded		5.00%	32,726	32,726		5.00%	42,000	42,000	
Allowance for Professional Fees			Excluded		7.00%	45,817	45,817		7.00%	61,740	61,740	
Contingency	10%		59,510		10.00%	65,453	65,453		10.00%	94,375	94,375	
T	otal		59,510			274,901	274,901			338,117	338,117	
T	otal	47.03	654,614		67	929,426	929,426		75	1,038,122	1,038,122	



Hammond Road Extension

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions 8 Comments
Median Swales	1,905	30.37	57,867	32.42	61,773	61,773	35.03	66,746	66,746	Allowance for grading, mulch, planting
Verges	14,909	41.11	612,915	45.44	677,465	677,465	48.55	723,832	723,832	Allowance for grading, mulch, planting
Street Trees	92	445.21	40,959	483.01	44,437	44,437	515.27	47,405	47,405	
Sub-Te	tal 16,906		711,741		783,675	783,675		837,983	837,983	
Total Footprint C	ost 16,906		711,741		783,675	783,675		837,983	837,983	
Preliminaries and Margin	i		Excluded	20.00%	156,735	156,735	20.00%	167,597	167,597	
Traffic Management			Excluded	5.00%	39,184	39,184	5.00%	50,279	50,279	
Allowance for Professional Fees			Excluded	7.00%	54,857	54,857	7.00%	73,910	73,910	
Contingency	10%		71,174	10.00%	78,367	78,367	10.00%	112,977	112,977	
	tal		71,174		329,143	329,143		404,763	404,763	
To	tai	46.31	782,915	66	1,112,818	1,112,818	74	1,242,745	1,242,745	



Hammond Road Connector Road

Items		Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales		2,266	30.37	68,818	32.42	73,464	73,464	35.03	79,378	79,378	Allowance for grading, mulch, planting
Verges		9,422	41.11	387,322	45.44	428,113	428,113	48.55	457,414	457,414	Allowance for grading, mulch, planting
Street Trees		132	445.21	58,768	483.01	63,757	63,757	515.27	68,016	68,016	
	Sub-Total	11,820		514,907		565,334	565,334		604,807	604,807	
To	otal Footprint Cost	11,820		514,907		565,334	565,334		604,807	604,807	
Preliminaries and Margin				Excluded	20.00%		113,067	20.00%	120,961	120,961	
Traffic Management				Excluded	5.00%	28,267	28,267	5.00%	36,288	36,288	
Allowance for Professional Fees				Excluded	7.00%	39,573	39,573	7.00%	53,344	53,344	
Contingency		10%		51,491	10.00%	56,533	56,533	10.00%	81,540	81,540	
	Total			51,491		237,440	237,440		292,134	292,134	
	Total		47.92	566,398	68	802,774	802,774	76	896.942	896,942	



Lyon Road

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
North - Honeywood. POS 10 Lyon Road (2011 cost)		13.80	60,053		13.80	60,053	60,053		13.80	60,053	60,053	RWA understand that these are actual costs
North - Honeywood. Lyon road (Sept 2012)		71.32	310,349		71.32	310,349	310,349		71.32	310,349	310,349	
North - Honeywood. Lyon road re-veg (2013 cost)		2.41	10,474		2.41	10,474	10,474		2.41	10,474	10,474	
North - Honeywood. Lyon road buffer (2016 cost)		9.21	40,084		9.21	40,084	40,084		9.21	40,084	40,084	
South - Honeywood Rise. Conservation park (2016 cost)		5.04	21,924		5.04	21,924	21,924		5.04	21,924	21,924	
South - Honeywood Rise. Wandi South Buffer (Stage 2 - July 2017)		12.22	53,186		12.22	53,186	53,186		12.22	53,186	53,186	
Sub-Total	4,351		496,070			496,070	496,070			496,070	496,070	
Total Footprint Cost	4,351		496,070			496,070	496,070			496,070	496,070	
Contingency			Excluded									
Total			-									
Total		114.00	496,070		114	496,070	496,070		114	496,070	496,070	



Cordata Ave, Wandi

Items	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Costs Unit Ra	Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Median Swales	3336	30.37	101,314		32.42	108,153	108,153		35.03	116,860	116,860	Allowance for grading, mulch, planting
Verges	3336	41.11	137,144		45.44	151,588	151,588		48.55	161,963	161,963	Allowance for grading, mulch, planting
Street Trees	28	445.21	12,377		483.01	13,524	13,524		515.27	14,428	14,428	
Sub-Total	6,672		250,835			273,265	273,265			293,250	293,250	

	Total Footprint Cost	6,672	25	0,835		273,265	273,265		293,250	293,250	
Preliminaries and Margin		20.0%		0,167	20.00%	54,653	54,653	20.00%	58,650	58,650	
Traffic Management		5.0%		2,542	5.00%	13,663	13,663	5.00%	17,595	17,595	
Allowance for Professional Fees		7.5%		8,813	7.00%	19,129	19,129	7.00%	25,865	25,865	
Contingency		10%		25,083	10.00%	27,327	27,327	10.00%	39,536	39,536	
	Total		10	6,605		114,771	114,771		141,646	141,646	
	Total		35	7,440	58	388,037	388,037	65	434,896	434,896	



CITY OF KWINANA DCP Cost Update 2024

ANNEXURE C – Open Drain Cost Breakdown



Bertram Road Basin												
Items	Qty	Unit	Unit Rate	Total Cost	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023) Ad	Actual Costs Unit Rate(\$2024)	Total Estimated Cost	Total Unit Cost	Rawlinsons Additional
	4.7	J	\$2022	\$2022	Actual Costs	ome nate(\$2025)	(\$2023)	(\$2023)	- του	(\$2024)	(\$2024)	Assumptions & Comments
PRELIMINARIES												
Establishment				201011				-				See actuals below
Mobilisation / Demobilisation	1	item	3,816.11	3,816.11				-				
Project Board (Provisional) Insurances	1	item	3,816.11 3,572.89	3,816.11 3,572.89				-				
Authorities and Fees	1	item	3,372.03	3,372.03								
Construction Industry Training Fund Levy (0.2% of Contract Sum)	1	item	942.80	942.80				-				
Liaison and Coordination of Service Bodies for Service Installation	1	item	2,289.67	2,289.67				-				
Building License for Walls and Structures	1	item	1,908.06	1,908.06				-				
Testing								-				
Scheduled Testing	1	item	2,544.08	2,544.08				-			-	
Survey/Supervision/Project management								÷			-	
As Constructed Details	1	item	3,180.10	3,180.10				=				
Survey / Supervision/Project Management	1	item	10,000.00	10.000.00				-			•	
Survey Project Management - Design	1	item	10,000.00	10,000.00				-				
Project Management - Design Project Management/Construction Supervision - Construction	1	item	30,000.00	30,000.00				-				
Detailed Design	1	item	30,000.00	30,000.00				-				
Construction Water								-				
Construction water from nearby hydrant/standpipe	1	item	1,908.06	1,908.06				-			-	
OH&S								-			-	
Occupational Health and Safety Management	1	item	1,272.04	1,272.04				-			-	
Safety Management Plan	1	item	1,017.63	1,017.63				-			-	
Other								-			-	
Final Clean up	1	item	2,544.08	2,544.08				-				
Other Items Necessary for Completion of the Works Subtotal Preliminaries	1	item	2,544.08	2,544.08 111,355.70				-			-	
SUDDOTAL Preliminaries SITEWORKS				111,355.70				-				
Clearing								-			-	
Clearing, Grubbing and Dispose Off Site	1	item	6,360.19	6,360.19				-				
Demolition								-				
Remove and dispose existing Pipe to Peel Main Drain	1	item	1,272.04	1,272.04				ę				
Topsoil								-			-	
Strip and Stockpile Topsoil and respread in adjoining POS	2,200	m2	2.40	5,283.83				-			-	
Earthworks								-			-	
Proof rolling of fill areas	2,200	m2	1.27	2,798.48				-				
Import and Compact Fill sand	1,200	m3	31.80 44.52	38,161.14 13,356.40				-				
Import and compact clay liner Import and Compact Fill sand for extra required in existing basin	300 900	m3 m3	44.52 31.80	13,356.40 28.620.86				-				
Final Trim and Shaping	2,200	m2	1.76	3,865.54								
Subtotal Earthworks	2,200		2.70	99,718.48				-				
								-				
FENCING AND BUNDS								-				
Removal and disposal of existing fences								-				
Remove and Dispose Existing Chainmesh on exiting basin	255	m	18.96	4,835.08				-			-	
Supply and install complete fences								÷			-	
1800 chainmesh fence with barb wire	210	m	69.52	14,600.06				-				
Double Gate in Chainmesh Fence	1	No.	1,466.33	1,466.33				-				
Subtotal Fencing				20,901.47				-				
STORMWATER DRAINAGE								-				
Pipework/Excavate/Supply/Lay/Backfill								-				
150 PVC SWP	30	m	189.61	5,688.33								
525 Dia Class 2	260	m	442.43	115,030.77							-	
Subsoil drainage											-	
150 PVC Subsoil Drain	135	m	176.97	23,891.01				-				
Subsoil Flushing Point On Line	2	No.	1,516.89	3,033.78							-	
Drainage pits												
Junction Pits - Standard installed on existing line	1	No.	3,816.11	3,816.11							-	
Grated Pits outlet pits	1	No.	3,816.11	3,816.11				•				
Revegetation Supply of shrubs	2.200	Item	2.53	5,561.93							-	
Planting of shrubs	2,200	Item	2.53	5,561.93								
Supply of sedges	8,800	Item	2.63	23,137.62								
Planting of sedges	8,800	Item	2.63	23,137.62								
Outlets								-			-	
Spillway complete	1	No.	10,176.30	10,176.30				-			-	
Type B outlet to Peel Main Drain	1	No.	3,943.32	3,943.32				-			-	
Rock Pitching	40	m2	151.69	6,067.56				-			-	
Permeable Rock Inlet Dissipator	1	Item	12,720.38	12,720.38				•				
Sand filter												
Placing 200 mm Pea Gravel bedding for Sand Filter Floor	1,300	m2	22.90 120.84	29,765.69 47.129.01				-				
Supplying and placing filter sand	390 1,300	m3 m2	120.84 38.16	47,129.01 49,609.49							•	
mix supplied NUA with filter sand NUA cartage costs from Capel	1,300	m2 Item	38.16 4,070.52	49,609.49 4,070.52				-			-	
NUA cartage costs from Capel Subtotal Stormwater drainage	1	item	4,070.32	4,070.52 376,157.49								
Subtotus Stormwater Graninge				3,0,23,.43								



Total cost for construction of DCA1 Bertram Road Drainage Basin				699,353	362,900		12,315	375,215	368,900		6,315	375,215
Maintenance based on 2,200 sqm - fear 2		iteiii				0,314.01	0,314.01	0,314.01		0,314.01	0,314.01	0,314.81
Maintenance based on 2,200 sqm - Year 2		Item				6,314.81	6,314.81	6.314.81		6,314.81	6,314.81	6,314.81
Maintenance based on 2,200 sqm - Year 1	1	Item				6,000.00	6,000.00	6,000.00	6,000.00		-	6,000.00 Allowed for 2 year maintenance
Maintenance cost per annum												
								-				
Actual construction costs as carried out by Bulletproof Civil	1	Item			362,900.47			362,900.47	362,900.47			362,900.47 As per costs provided by CoK
Construction Costs as Provided by CoK on 01/03/2023												-
								-				
Contingency		%	15.00	91,219.97								
								-				-



Peel	Sub	N	Drain

ems	Qty		Unit Rate				Total Estimated Cost	Total Unit Cost			Total Estimated Cost	Total Unit Cost	Rawlinsons Additional
	Q19	Unit	\$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	(\$2023)	(\$2023)	Actual Costs	Unit Rate(\$2024)	(\$2024)	(\$2024)	Assumptions & Comme
nstruction cost per 10 m sections <1000mm deep								_					Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	46.62	6,526.67		62.88	8,803.20	8,803.20		66.80	9,352.00	9,352.	.00 includes topsoil stripping and cl
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.	80
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	.00 allowed for 150mm
Contingency 10%		%	10.00	1,724.12			2,229.10	2,229.10			2,329.49	2,329.	49
total cost per 10 lineal meters				18,965.28			24,520.10	24,520.10			25,624.36	25,624.	36
nstruction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	46.62	11,188.58		62.88	15,091.20	15,091.20		66.80	16,032.00	16,032.	.00 includes topsoil stripping and
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	20	m2	152.64	3,052.89		186.30	3,726.00	3,726.00		189.28	3,785.60	3,785.	60
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	.00 allowed for 150mm
10% Contingency		%	10.00	2,342.95			3,044.20	3,044.20			3,186.77	3,186.	77
total cost per 10 meters				25,772.47			33,486.20	33,486.20			35,054.44	35,054.	44
aintenance cost per annum													
20m wide x 10lm per annum	1	Item	381.61	381.61		732.00	732.00	732.00		783.00	783.00	783.	.00 based on 200m2; RWA estima
Subtotal	_			23,132.10			30,467.15	30,467.15			31,905.40	31,905.	
otal cost for construction of a 20m wide x 10m length Living Stream	10	m		23,132.10		-	30,467.15	30,467.15		=	31,905.40	31,905.	40
				25/152.10			30/107.123	30/107123			52/5051-10	32/3031	
otal estimated cost for Peel Sub-Drain N - 165m x 20m wide; Livir	165	m		381,680	-		502,708	502,708	-		526,439	526,43)
Completed Actual Construction Costs													
Actual cost completed in addition to estimated remaining 165m calculated above	1	item			843,914.3	7		843,914.37	843,914.37	,		843,914.	37 As provided by the City of Kwin
otal cost for Peel Sub-Drain N – to date		Total		381.680	843,914		502,708	1,346,622	843,914		526,439	1,370,35	3



Peel Sub Drain N1 in Wellard

tems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Commen
onstruction cost per 10 m sections <1000mm deep		L				:	:		:		:		:
Earthworks and Site Preparation													Rates include for preliminaries
bulk earthworks (cut to spoil, compact and final grade)	56	m3	46.62	2,610.67		62.88	3,521.28	3,521.28		66.80	3,740.80	3,740.8	0 includes topsoil stripping and clea
fine grading	80	m2	1.76	140.57		2.18	174.40	174.40		2.33	186.40	186.4	0
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.8	0
landscaping/ planting (140mm x 3/m2)	80	m2	23.51	1,880.94		30.60	2,448.00	2,448.00		31.09	2,487.20	2,487.2	0
tubestock x 3/m2	3	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)		No	445.21	-		489.60	-	-		526.69	=		
Mulch	80	m2	13.99	1,119.46		18.00	1,440.00	1,440.00		18.93	1,514.40	1,514.4	0 allowed for 150mm
Contingency 10%		%	10.00	727.81			944.67	944.67			982.16	982.1	6
total cost per 10 lineal meters				8,005.89			10,391.35	10,391.35			10,803.76	10,803.7	6
aintenance Cost per annum													
8m wide x 10lm per annum	1	Item	152.65	152.65		378.00	378.00	378.00		405.00	405.00	405.0	0 based on 80m2; RWA estimate
Subtotal				8,158.54			10,769.35	10,769.35			11,208.76	11,208.7	6
otal cost for construction of a 8m wide x 10m length Living Stream	10	m		8,311.19			10,769.35	10,769.35			11,208.76	11,208.7	6
Total Cost for Peel Sub-Drain N1 – 456m x 8m wide; Living Stream	456	m		378,990	-		491,082	491,082	-		187,186	187,186	167m to be constructed
Completed Actual Construction Costs													
Actual cost completed (289m)	289	m							87,087.96			87,087.9	6 As provided by the City of Kwinai
otal cost for Peel Sub-Drain N1 – to date		Total		381.680			491,082	491.082	87.088		187.186	274.274	



Peel Sub-Drain N2 in Wellard

Items	Qty	Unit	Unit Rate \$2021	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comment
Construction cost per 10 m sections <1000mm deep		•	<u> </u>	-		·	:	*		•	:		Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	56	m3	36.88	2,065.28		62.88	3,521.28	3,521.28		66.80	3,740.80	3,740.8	includes topsoil stripping and clearing
fine grading	80	m2	1.39	111.20		2.18	174.40	174.40		2.33	186.40	186.4)
rock pitching	10	m2	120.76	1,207.56		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.8	0
landscaping/ planting (140mm x 3/m2)	80	m2	18.60	1,488.00		30.60	2,448.00	2,448.00		31.09	2,487.20	2,487.2	0
tubestock x 3/m2	3	m2	10.57	31.71		18.36	55.08	55.08		20.12	Excluded		
advanced tree planting (no.)		No	352.20	-		489.60				526.69		-	
Mulch	80	m2	11.07	885.60		18.00	1,440.00	1,440.00		18.93	1,514.40	1,514.4	allowed for 150mm
Contingency 10%		%	10.00	578.94			950.18	950.18			982.16	982.1	5
total cost per 10 lineal meters				6,368.29			10,451.94	10,451.94			10,803.76	10,803.7	6
Maintenance Cost per annum													
8m wide x 10lm per annum	1	Item	120.76	120.76		378.00	378.00	378.00		405.00	405.00	405.0	based on 80m2; RWA estimate
Subtotal				6,489.05			10,829.94	10,829.94			11,208.76	11,208.7	6
Total cost for construction of a 8m wide x 10m length Living Stream	10	m		6,609.81			10,829.94	10,829.94			11,208.76	11,208.7	6
Total cost for Peel Sub-Drain N2 - 356m and 111m x 8m wide: Liviu	356	m		235,309			385,546	385,546			124.417	124 417	111m to be constructed
Completed Actual Construction Costs	330			235,309			363,340	303,340			124,417	124,417	111m to be constructed
Actual cost completed (245m)	245	m							199,634.6	5		199,634.6	5 As provided by the City of Kwinana
Total cost for Peel Sub-Drain N1 – to date		Total		381.680			385,546	385,546	199.635		124.417	324.052	



Peel Sub-Drain P in Casuarina

tems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Addition Assumptions & Comm
nstruction cost per 10 m sections <1000mm deep		-											Excluded as detailed in previous
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	Excluded	Excluded			Excluded				Excluded		
fine grading	200	m2	Excluded	Excluded			Excluded				Excluded		
rock pitching	10	m2	Excluded	Excluded			Excluded				Excluded		
landscaping/ planting (140mm x 3/m2)	200	m2	Excluded	Excluded			Excluded				Excluded		
tubestock x 3/m2	200	m2	Excluded	Excluded			Excluded				Excluded		
advanced tree planting (no.)	3	no	Excluded	Excluded			Excluded				Excluded		
Mulch	200	m2	Excluded	Excluded			Excluded				Excluded		
Contingency 10%		%	Excluded	Excluded			Excluded				Excluded		
total cost per 10 lineal meters				-									
struction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	Excluded	Excluded			Excluded				Excluded		
fine grading	200	m2	Excluded	Excluded			Excluded				Excluded		
rock pitching	20	m2	Excluded	Excluded			Excluded				Excluded		
landscaping/ planting (140mm x 3/m2)	200	m2	Excluded	Excluded			Excluded				Excluded		
tubestock x 3/m2	200	m2	Excluded	Excluded			Excluded				Excluded		
advanced tree planting (no.)	3	no	Excluded	Excluded			Excluded				Excluded		
Mulch	200	m2	Excluded	Excluded			Excluded				Excluded		
10% Contingency		%	Excluded	Excluded			Excluded				Excluded		
total cost per 10 meters				-									
intenance cost per annum													
20m wide x 10lm per annum	1	Item	Excluded	Excluded			Excluded				Excluded		
Subtotal				-									
otal cost for construction of a 20m wide x 10m length Living Stream	10	m		-									
	520												
otal Cost for Peel Sub-Drain P - 630m x 20m wide; Living Stream	630	m											



Peel Sub-Drain P1 in Casuarina

ems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comme
struction cost per 10 m sections <1000mm deep													•
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	46.62	6,526.67		62.88	8,803.20	8,803.20		66.80	9,352.00	9,352.	.00 includes topsoil stripping and cle
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	.00
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.	.80
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	.00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	.07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	.00 allowed for 150mm
Contingency 10%		%	10.00	1,724.12			2,229.10	2,229.10			2,329.49	2,329.	49
total cost per 10 lineal meters				18,965.28			24,520.10	24,520.10			25,624.36	25,624.	36
struction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	46.62	11,188.58		62.88	15,091.20	15,091.20		66.80	16,032.00	16,032.	.00 includes topsoil stripping and c
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	.00
rock pitching	20	m2	152.64	3,052.89		186.30	3,726.00	3,726.00		189.28	3,785.60	3,785.	.60
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	.00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	.07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	.00 allowed for 150mm
10% Contingency		%	10.00	2,342.95			3,044.20	3,044.20			3,186.77	3,186.	.77
total cost per 10 meters				25,772.47			33,486.20	33,486.20			35,054.44	35,054.	44
intenance cost per annum													
20m wide x 10lm per annum	1	Item	381.61	381.61		732.00	732.00	732.00		783.00	783.00	783.	.00 based on 200m2; RWA estimat
Subtotal				23,132.10			30,467.15	30,467.15			31,905.40	31,905.	40
tal cost for construction of a 20m wide x 10m length Living Stream	10	m		23,132.10			30,467.15	30,467.15			31,905.40	31,905.	40
tal cost for Peel Sub-Drain P1 - 395m x 20m: Living Stream	395	m		913.718			1.203.452	1,203,452			1.260.263	1.260.26	



Peel Sub-Drain P1A in Casuarina

ems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Commer
struction cost per 10 m sections <1000mm deep	-												Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	46.62	6,526.67		62.88	8,803.20	8,803.20		66.80	9,352.00	9,352.	00 includes topsoil stripping and cle
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.	80
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	00 allowed for 150mm
Contingency 10%		%	10.00	1,724.12		•	2,229.10	2,229.10			2,329.49	2,329.	49
total cost per 10 lineal meters				18,965.28			24,520.10	24,520.10			25,624.36	25,624.	36
struction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	46.62	11,188.58		62.88	15,091.20	15,091.20		66.80	16,032.00	16,032.	00 includes topsoil stripping and c
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	20	m2	152.64	3,052.89		186.30	3,726.00	3,726.00		189.28	3,785.60	3,785.	50
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	00 allowed for 150mm
10% Contingency		%	10.00	2,342.95		•	3,044.20	3,044.20			3,186.77	3,186.	77
total cost per 10 meters				25,772.47			33,486.20	33,486.20			35,054.44	35,054.	14
ntenance cost per annum													
20m wide x 10lm per annum 10m	1	Item	381.61	381.61		732.00	732.00	732.00		783.00	783.00	783.	00 based on 200m2; RWA estimat
Subtotal				23,132.10			30,467.15	30,467.15			31,905.40	31,905.	40
tal cost for construction of a 20m wide x 10m length Living Stream	10	m		23,132.10			30,467.15	30,467.15			31,905.40	31,905.	10
otal Cost for Peel Sub-Drain P1A – 220m x 20m: Living Stream	220	m		508,906			670.277	670.277			701.919	701.91	



Poo	Sub-I	Orair	O in	Casi	ıarin

tems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Addition Assumptions & Commo
nstruction cost per 10 m sections <1000mm deep	I	.I						(1)		_ !	, , ,		Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	46.62	6,526.67		62.88	8,803.20	8,803.20		66.80	9,352.00	9,352.	00 includes topsoil stripping and c
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.	80
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	00 allowed for 150mm
Contingency 10%		%	10.00	1,724.12			2,229.10	2,229.10			2,329.49	2,329.	49
total cost per 10 lineal meters				18,965.28			24,520.10	24,520.10			25,624.36	25,624.	36
struction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	46.62	11,188.58		62.88	15,091.20	15,091.20		66.80	16,032.00	16,032	00 includes topsoil stripping and
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466.	00
rock pitching	20	m2	152.64	3,052.89		186.30	3,726.00	3,726.00		189.28	3,785.60	3,785.	60
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218.	00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580.	07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786.	00 allowed for 150mm
10% Contingency		%	10.00	2,342.95			3,044.20	3,044.20			3,186.77	3,186.	77
total cost per 10 meters				25,772.47			33,486.20	33,486.20			35,054.44	35,054.	14
intenance cost per annum													
20m wide x 10lm per annum	1	Item	381.61	381.61		732.00	732.00	732.00		783.00	783.00	783.	00 based on 200m2; RWA estim
Subtotal				23,132.10			30,467.15	30,467.15			31,905.40	31,905.	40
al cost for construction of a 20m wide x 10m length Living Stream	10	m		23,132.10			30,467.15	30,467.15			31,905.40	31,905.	10
tal Cost for Peel Sub-Drain O - 500m x 20m wide; Living Stream	500	m		1,156,605			1,523,358	1,523,358			1,595,270	1,595,27	



- F Fig out i brain in casaarina				1,052.17			1,239.20				1,130.00		
t per m of Piping Sub P Drain in Casuarina				1,692.17			1,259.26				1,198.68		
Construction costs for completed works to date	1	Item			668,369.5	3		668,369.58	550,916.00			550,916.0	641m of actual costs (leaving 17 remaining works). Actual Cost updated by CoK on 21/07/2024
													We understand that this repre
Construction Costs as Provided by CoK on 01/03/2023													
Subtotal				1,379,121.31			357,928.21	357,928.21			426,006.04	426,006.0	i
Pro-rata the above to reduce to 174m in lieu of 815m	(1.0)	Item				1,318,570.70	(1,318,570.70)	(1,318,570.70)		1,569,371.00	(1,569,371.00)	(1,569,371.0))
contingency	10.0	,,,		123,374.00			132,400.33	131,400.33			101,337.31	101,337.3	
Contingency	10.0	%		125,374.66			152,408.99	152,408.99			181,397.91	181,397.9	
Engineering and Surveying	7.5	%	,	87,470.70		2,330.00	106,331.85	106,331.85		2,774.20	126,556.68	126,556.6	
450 dia pipe	1	item	1,272.04	1,272.04		1,350.00	1,350.00	1,350.00		1,474.20	1,474.20	1,474.2	
375 dia pipe	1	item	1,272.04	1,272.04		1,300.00	1,300.00	1,300.00		1,419.60	1,419.60	1,419.6	
225 dia pipe	1	item	1,272.04	1,272.04		1,200.00	1,200.00	1,200.00		1,310.40	1,310.40	1,310.4	
Supply and install headwall to suit 1500 dia pipe	1	no	3,476.20	3,476.20		3,558.00	3,558.00	3,558.00		4.000.00	4,000.00	4,000.0	
Supply and install manifole to suit 1500dia pipe Supply and install splay bend to 1500 dia pipe	1	no	1,272.04	1,272.04		1,388.89	1,388.89	1,388.89		1,715.92	1,715.92	1,715.9	
Supply and install manhole to suit 900dia pipe Supply and install manhole to suit 1500dia pipe	1	no	6,360.19	6,360.19		6,600.00	6,600.00	6,600.00		7,207.20	7,207.20	7,207.2	
Supply and install manhole to suit 900dia pipe	2	no	6,360.19	12,720.38		6,600.00	13,200.00	13,200.00		7,207.20	14,414.40	14,414.4	
Construct manhole structure to connect culverts under Thomas Road	1	item	19,080.57	19,080.57		24,500.00	24,500.00	24,500.00		24,500.00	24,500.00	24,500.0	
Backfill with clean sand and compact for 1500 Dia pipe	665	m3	31.80	21,147.63		42.00	27,930.00	27,930.00		44.10	29,326.50	29,326.5	
Backfill with clean sand and compact for 900 Dia pipe	1,390	m3	31.80	44,203.32		42.00	58,380.00	58,380.00		44.10	61,299.00	61,299.0	
Supply and Install 900 Dia Class 3 RC RRJ pipe Supply and Install 1500 Dia Class 3 RC RRJ pipe	169	m m	2,143.38	405,937.89 362,231.93		2,500.00	513,570.00 422,500.00	513,570.00 422,500.00		3,088.65	618,874.46 521,981.85	521,981.8	
Grade Invert	910 646	m m	6.36 628.39	5,787.77		8.33 795.00	7,580.30	7,580.30		8.83 958.01	8,035.30	8,035.3 618,874.4	
Dispose of material/vegetation	1	item	15,264.46	15,264.46		16,560.43	16,560.43	16,560.43		17,916.06	17,916.06	17,916.0	rates due to lack of better
Clean out existing open drain													Allamand to accordate the to
Remove Existing Headwall at Thomas Road incl traffic management	810	no m	63.60	51,517.54		75.49	61,146.90	61,146.90		22,004.98	70,105.50	70,105.5	rates due to lack of better
	1	,-	19,080.57	19,080.57		20,700.53	20,700.53	20,700.53		22,604.98	22,604.98	22,604.9	
s Sub P drain in Casuarina Preliminaries Rem	20.0	*		194,379.32			236,293.01	236,293.01			281,237.07	281,237.0	We have adjusted the rate section and offset it by thin costs received by CoK on (for the works complete to in turn leaves a remaining required to complete the construction.
	Qty	Unit	\$2022	\$2022	Actual Costs	Unit Rate(\$2023)	(\$2023)	(\$2023)	Actual Costs	Unit Rate(\$2024)	(\$2024)	(\$2024)	Assumptions & Co
			Unit Rate	Total Cost			Total Estimated Cost	Total Unit Cost			Total Estimated Cost	Total Unit Cost	Rawlinsons Addit



Piping Sub P1 Drain in Casuarina

iping Sub P1 Drain in Casuarina													
ems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additiona Assumptions & Comme
posed Piping of Portions of Peel Sub P1 Drain, Casuarina													
Preliminaries	1	item	49,191.46	49,191.46			62,132.97	62,132.97			67,700.07	67,700.0	7
Remove existing pipe culvert	1	no	1,272.04	1,272.04		1,380.04	1,380.04	1,380.04		1,451.65	1,451.65	1,451.6	Allowed to escalate this to tod rates due to lack of better info
Clean out existing open drain	185	m	63.60	11,766.35		75.49	13,965.65	13,965.65		86.55	16,011.75	16,011.7	5
Dispose of material/vegetation	1	item	3,816.11	3,816.11		4,140.11	4,140.11	4,140.11		4,479.02	4,479.02	4,479.0	Allowed to escalate this to too rates due to lack of better info
Grade Invert	185	m	6.36	1,176.64		8.33	1,541.05	1,541.05		8.83	1,633.55	1,633.5	5
Supply and Install 1200 Dia Class 3 RC RRJ pipe	185	m	1,061.82	196,437.17		1,350.00	249,750.00	249,750.00		1,474.20	272,727.00	272,727.0	0
Backfill with clean sand and compact for 1200 Dia pipe	890	m3	31.80	28,302.85		42.00	37,380.00	37,380.00		44.10	39,249.00	39,249.0	trenching allowed
Supply and install headwall to suit 1200 dia pipe	1	no	3,476.20	3,476.20		2,508.00	2,508.00	2,508.00		2,948.40	2,948.40	2,948.4	0
Engineering and surveying	7.5	%		22,157.91			27,959.84	27,959.84			30,465.03	30,465.0	3
Contingency	10	%		31,759.67			40,075.77	40,075.77			43,666.55	43,666.5	5
Subtotal				349,356.40			440,833.42	440,833.42			480,332.03	480,332.0	3
ll cost per m of Piping Sub P1 Drain in Casuarina				1,888.41			2,382.88	440,833.42			2,596.39	480,332.0	3
tal cost for construction of Piping Sub P1 Drain in Casuarina	185	m		349,356			440,833	440,833			480,332	480,332	



DCA5 P1A drain

Items	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Construction cost per 10 m sections <1000mm deep													Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	\$56.00	m3	46.62	2,610.67		62.88	3,521.28	3,521.28		66.80	3,740.80	3,740.8	0 includes topsoil stripping and clearin
fine grading	\$80.00	m2	1.76	140.57		2.18	174.40	174.40		2.33	186.40	186.4	0
rock pitching	\$10.00	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892.8	0
landscaping/ planting (140mm x 3/m2)	\$80.00	m2	23.51	1,880.94		30.60	2,448.00	2,448.00		31.09	2,487.20	2,487.2	0
tubestock x 3/m2	\$3.00	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)		no	445.21			489.60	-	-		526.69	-		
Mulch	\$80.00	m2	13.99	1,119.46		18.00	1,440.00	1,440.00		18.93	1,514.40	1,514.4	0 allowed for 150mm
Contingency 10%		%	10.00	727.81			944.67	944.67			982.16	982.1	6
total cost per 10 meters				8,005.89			10,391.35	10,391.35			10,803.76	10,803.7	6
Maintenance Cost per annum													
8m wide x 10lm per annum	\$1.00	Item	152.65	152.65		378.00	378.00	378.00		405.00	405.00	405.0	0 based on 80m2; RWA estimate
Subtotal				8,311.19			10,769.35	10,769.35			11,208.76	11,208.7	6
Total cost for construction of a 8m wide x 10m length Living Stream	10	m		8,311.19			10,769.35	10,769.35			11,208.76	11,208.7	6
Total Cost for P1A drain 220m x 8m wide; Living Stream	220	m		182,846			236,926	236,926			246,593	246,593	1



DCA5 Drain O

tems	Qty	Unit	Unit Rate \$2022	Total Cost \$2022	Actual Costs	Unit Rate(\$2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Costs	Unit Rate(\$2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Addition Assumptions & Comm
struction cost per 10 m sections <1000mm deep			I I										Rates include for preliminaries
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	140	m3	46.62	6,526.67		62.88	8,803.20	8,803.20		66.80	9,352.00	9,352	.00 includes topsoil stripping and
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466	.00
rock pitching	10	m2	152.64	1,526.45		186.30	1,863.00	1,863.00		189.28	1,892.80	1,892	80
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218	.00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded	-		20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580	.07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786	.00 allowed for 150mm
Contingency 10%		%	10.00	1,724.12			2,229.10	2,229.10			2,329.49	2,329	.49
total cost per 10 lineal meters				18,965.28			24,520.10	24,520.10			25,624.36	25,624	36
struction cost per 10 m sections 1000 - 1500mm deep													
Earthworks and Site Preparation													
bulk earthworks (cut to spoil, compact and final grade)	240	m3	46.62	11,188.58		62.88	15,091.20	15,091.20		66.80	16,032.00	16,032	.00 includes topsoil stripping and
fine grading	200	m2	1.76	351.41		2.18	436.00	436.00		2.33	466.00	466	.00
rock pitching	20	m2	152.64	3,052.89		186.30	3,726.00	3,726.00		189.28	3,785.60	3,785	.60
landscaping/ planting (140mm x 3/m2)	200	m2	23.51	4,702.36		30.60	6,120.00	6,120.00		31.09	6,218.00	6,218	.00
tubestock x 3/m2	200	m2	Excluded	Excluded		18.36	Excluded			20.12	Excluded		
advanced tree planting (no.)	3	no	445.21	1,335.62		489.60	1,468.80	1,468.80		526.69	1,580.07	1,580	.07
Mulch	200	m2	13.99	2,798.66		18.00	3,600.00	3,600.00		18.93	3,786.00	3,786	.00 allowed for 150mm
10% Contingency		%	10.00	2,342.95			3,044.20	3,044.20			3,186.77	3,186	.77
total cost per 10 meters				25,772.47			33,486.20	33,486.20			35,054.44	35,054	44
ntenance cost per annum													
20m wide x 10lm per annum 20m	1	Item	381.61	381.61		732.00	732.00	732.00		783.00	783.00	783	.00 based on 200m2; RWA estim
Subtotal				23,132.10			30,467.15	30,467.15			31,905.40	31,905	40
al cost for construction of a 20m wide x 10m length Living Stream	10	m		23,132.10			30,467.15	30,467.15			31,905.40	31,905.	40
al Cost for Drain 0 500m x 8m wide; Living Stream	500	m		1,156,605			1,523,358	1,523,358			1,595,270	1,595,27	0



CITY OF KWINANA DCP Cost Update 2024

ANNEXURE D – Public Open Space Cost Breakdown



Consolidated POS

(DCA3) - Casuarina Public Open Space	Area (m²)/Otv	Unit Rate	Total Unit Cost (\$2022)	Actual Cost	Unit Rate(2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Cost	Unit Rate(2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
District playing field	30.000	71.08	2,132,371		99.06	2,971,903	2,971,903	-	111.68	3,350,285	3,350,285	
Misc. POS (estimated on averaged rate for Local and Neighbourhood parks)	83,199		4,985,390		213.68	17.778.052	17.778.052	-	263.37	21.912.225	21.912.225	
POS 1 (Neighbourhood Park)	40,602		5,589,951		174.56	7.087.526	7.087.526	-	220.26	8.942.840	8.942.840	
POS 2 (Neighbourhood Park)	29,522	137.68	4,064,493		174.56	5,153,390	5,153,390	-	220.26	6,502,402	6,502,402	
POS 3 (Local Park)	945		136,698		252.80	238.897	238.897	-	306.49	289,630	289.630	
POS 4 (Neighbourhood Park)	10,091	137.68	1,389,296		174.56	1,761,495	1,761,495	-	220.26	2,222,605	2,222,605	
POS 5 (Local Park)	2,490	144.65	360,188		252.80	629,475	629,475	-	306.49	763,151	763,151	
POS 6 (Local Park)	2,152		311,295		252.80	544,028	544,028	-	306.49	659,559	659,559	
POS 7 (Neighbourhood Park)	24,363	137.68	3,354,218		174.56	4.252.830	4,252,830	-	220.26	5.366.101	5.366.101	
POS 8 (Local Park)	904	144.65	130,767		252.80	228,532	228,532	-	306.49	277,064	277,064	
POS 9 (Local Park)	1,270	144.65	183,710		252.80	321.057	321.057	-	306.49	389,238	389.238	
POS 10, 11 & 12 (max 2% Restricted POS)	13,721	131.02	644,845		184.14	2,526,622	2,526,622	-	197.82	2,714,290	2,714,290	
Sub-Tot	al 239,259		23,283,219			43,493,807	43,493,807			53,389,388	53,389,388	
Total Footprint Co	st 239,259	97.31	23,283,219		181.79	43,493,807	43,493,807	-	223.14	53,389,388	53,389,388	

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(DCA4) - Anketell North Public Open Space		Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Cost	Unit Rate(2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Cost	Unit Rate(2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumption & Comments
POS 1 (Neighbourhood Park)		5,072	137.68	747,447		174.56	947,692	947,692	- 1	220.26	1,117,139	1,117,13	9 2024 - area updated as email 18.3.25
POS 2 (Local Playing field)		37.116	73.66	3,609,688		92.41	4,528,550	4,528,550	-	109.50	4.064.034	4,064,03	4 2024 - area updated as email 18.3.25
POS 3 (Neighbourhood Park)		3,969	137.68	553,185		174.56	701.386	701.386	645,125.58	8.90	35,309	680.43	5 2024 - area updated as email 18.3.25
POS 4 (Neighbourhood Park)		1,655	137.68	227,855		174.56	288.898	288.898	- :	220.26	364,524	364,52	4
POS 5 (Local Park)		319	144.65	46,145		252.80	80.644	80,644	-	306.49	97,769	97.76	9
POS 6 (Conservation - wetland buffer)		3,997	131.02	501,547		184.14	704.898	704,898	-	197.82	790,687	790.68	7 2024 - area updated as email 18.3.25
POS 7 (Conservation - wetland buffer)		7,276	131.02	912,297		184.14	1,282,186	1,282,186	-	197.82	1,439,339	1,439,33	9 2024 - area updated as email 18.3.25
POS 8 (Neighbourhood Park)		10.379	137.68	213,124		174.56	938,789	938,789	-	220.26	2,286,039	2,286,03	9 2024 - area updated as email 18.3.25
POS 9 (Neighbourhood Park)		2,485	137.68	342,127		174.56	433,784	433,784	-	220.26	547,337	547,33	7
POS 10 (Community Site - land only)		16,514					-	-	-		-		-
POS 11 (Neighbourhood Park)		1,263	137.68	145,249		174.56	220,471	220.471	-	220.26	278.184	278.18	4
POS 12 (Neighbourhood Park)		1,343	137.68	145,249		174.56	184,162	184,162	193,588.00	8.90	11.948	205,53	6 2024 - area updated as email 18.3.25
1:5yr drainage		4,053	131.02	531,027		184.14	746,330	746,330	-	197.82	801,765	801,76	5
	Sub-Total	101,965		7,974,940			11,057,790	11,057,790			11,834,073	12,672,78	7
Total Soc	otprint Cost	101,965	78.21	7,974,940		108.45	11,057,790	11.057.790	838,713.58	132.78	11.834.073	12.672.78	7

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(DCAS) - Wandi North and South Open Space		Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Cost	Unit Rate(2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Cost	Unit Rate(2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
Wandi Playing field (POS 22B)		40,800	65.71	4,801,688	2,270,158.77	-	-	2,270,159	2,270,158.77	-	-	2,270,15	9 As provided by CoK
POS 22A (Playing Fields)		2,133	65.71	140,137	-	92.41	197,073	197,073	-	109.50	233,510	233,51	0
POS 22C (Neighbourhood Park)		20,968			2,452,662.40			2.452.662	2,452,662.40			2.452.66	2 As provided by CoK
	Sub-Total	63,901		4.941.825			197.073	4.919.895			233.510	4.956.33	1
				-									
Total Foot	tprint Cost	63,901	77.34	4,941,825	4,722,821.18	76.99	197,073	4,919,895	4,722,821.18	77.56	233,510	4,956,33	1
•				4,941,825									



(DCA6) - Mandogalup Public Open Space	Area (m²)/Qty	Unit Rate	Total Unit Cost (\$2022)	Actual Cost	Unit Rate(2023)	Total Estimated Cost (\$2023)	Total Unit Cost (\$2023)	Actual Cost	Unit Rate(2024)	Total Estimated Cost (\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
MANDOGALUP EAST				-	-	-	-	-	-	-		-
POS1 (Local Park)	1,999	144.65	289,163	-	252.80	505,350	505,350	-	306.49	612,666	612,66	6
POS2 (Neighbourhood Park)	8,525	137.68	1,173,694	-	174.56	1.488.133	1.488.133	-	220.26	1.877.684	1.877.68	4
POS3 (Local Park)	2,345	144.65	331,257	- :	252.80	578.915	578.915	-	306.49	718,710	718.71	0 Area updated to 2,345m2
POS4 (Local Park)	6,803	144.65	914,645	-	252.80	1,598,462	1,598,462	-	306.49	2.085.027	2.085.02	7 Area updated to 6.803m2
POS5 (Neighbourhood Park)	12,136	137.68	593,387	-	174.56	2.053.536	2,053,536	550,286.72	8.90	107.965	658.25	2 Area updated to 12.136m2
POS6 (Playing Fields)	11,549	65.71	758,907	-	92.41	1,067,243	1,067,243	-	109.50	1,264,563	1,264,56	3
POS7 (Local Park)	1.193	144.65	172,572	-	252.80	301.592	301.592	-	306.49	365,638	365,63	8
POS8 (Local Park)	1,630	144.65	194,559	-	252.80	340,018	340,018	311,409.75	7.12	11,602		2 Area updated to 1,630m2
East Sub-Total	46,180		4,428,183	-		7,933,246	7.933.246	861,696,47		7.043.856	7,905,55	
MANDOGALUP WEST												
POS A (Neighbourhood Park)	28,988	137.68	3,991,248	-	174.56	2.126.153	2,126,153	1,264,893.00	8.90	257,884	1,522,77	7 Area updated to 28,988m2
POS B (Local Park)	3,711	144.65	520,753	-	252.80	910,084	910,084	536,796.15	7.12	26,415	563,21	1 Area updated to 3,711m2
POS C (Playing Fields)	13,590	137.68	1,871,027	-	92.41	1,255,851	1,255,851	-	109.50	1,488,044	1,488,04	CoK advised that this is now a
POS D (Neighbourhood Park)	16,285	137.68	2,245,508	-	174.56	2,695,222	2,695,222	1,309,541.83	8.90	144.875	1,454,41	7 Area updated to 16,285m2
POS E (Local Park)	1,930	148.18	285,996	-	252.80	487.906	487,906	-	306.49	591.519	591.51	9
POS F (Local Park)	6,670	148.18	1,040,256	-	252.80	1.686.184	1,686,184	-	306.49	2.044.264	2,044,26	4
Sub-Total	71,174		9,954,788	-		9,161,400	9,161,400	3,111,230.98		4,553,001	7,664,23	2
Total Footprint Cost	98,398	146.17	14,382,970	-	173.73	17,094,646	17,094,646	3,972,927.45	132.67	11,596,857	15,569,78	4



Local Sporting Ground with Community Facility - 7.2ha Items	Unit	Unit Rate	Total Unit Cost	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost	Unit Rate(\$2024)	Total Unit Cost Rawlinsons Additional Assumptions
Items Area (m²)/Otv	- Omit	-om: Nate	(\$2022)			(\$2023)	Onit Rate(\$2024)	(\$2024) & Comments Generally, rates include for
arthworks .				Allow 0.5m average over entire site				Preliminaries and contingency as there
								is no separate items for these
Cut to fill over 1,000m3 - allowance 72,000	m3	12.00		Allow 50% of site	15.97	574,920	17.25	621,000 Balanced cut and fill over site 500mm- 1000mm deep
Clearing scrub & trees - allowance 72.000 Strip topsoil and respread 72.000	m2 m2	3.69 2.34	132,888 168.325	Allow 100% of site	4.57 2.83	329,040 203,760	4.84 3.04	348,480 218.880 Allowance of 150mm deep top soil
Sub total		2.34 10.18	733,101		2.83 15.39	203.760 1,107,720.00	16.51	218.880 Allowance of 150mm deep top soil
Garden Beds - Landscaped Surrounds			20.055		2.52	35,000		53.100
Preo of planting area (weed removal & general leveling) 10.000 (moort toosoil and machine soread (150mm thick) 10,000	m2 m2	3.10 17.35	30.955 173,493	Assume 1ha Assume 1ha	3.50 22.01	220,100	5.31 24.84	248,400
Soil conditioner (20mm thick blended into too 200mm @ \$60/m3 plus \$3 install) 10,000 10,000 10,000 10,000 10,000	m2 m2	5.20 9.63		Assume 1ha Assume 1ha	7.00 10.00	70,000 100,000	7.13 10.49	71,300 Allowed for a supply of \$100/m3 104,900 Allowed for supply of \$56/m3
Supply and lav high grade mulch by hand (75mm laver - \$90/m3 + \$3.50 fine finish install) Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes 10,000	m2	14.77 34.98		Assume 1ha	15.00 43.13	431,300	15.27 45.09	- Allowed for supply of \$96/m3 450,900
Supply and install plants (includes allowance for 1 x 100 tree per 40m2) see notes 10,000	IIIZ	34.98	349,769	ASSUME THE	43.13	431,300	45.09	This is highly dependent on scope as
Miscellaneous allowance (kerb edging, feature retaining walls)	m2	6.19	61,910	Assume 1ha	6.69	66,900	7.30	feature retaining walls are expensive 73,000 structures. We have only allowed to escalate the March 2022 rate till today
10.000								due to lack of better information
Sub total		76.45	764,495		92.33	923,300.00	100.16	1,001,600.00
Water Supply & Reticulation Irrigation - supply & Install materials 68.400	m2	8.02	548.740	Assume 95% of POS	19.00	1,299,600	20.40	1.395.360
								(item) price of pumps and bores varies
Bore (shallow - superficial)	Item	80,482.42	80,482	Allows 20m (50m) bore construction	91,000.00	91,000	96,000.00	96,000 according to the volume of water required, depth of water table, type of soil. Excluded allowance for tank
Bore (artesian)	Item	185.728.67			190.000.00	-	200.000.00	- includes for tank
Iron Bacteria Filtration Unit Sub total	Item	99.055.29 9.20	629.223		149.000.00 20.33	1.390.600.00	156.000.00 21.80	1.491.360.00
Turfing								
Prep of turfing area (weed removal & general leveling)	m2	3.45		Completed at earthworks stage	3.50	-	5.31	-
Import topsoil and spread (150mm thick)	m2 m2	17.35 5.20			22.01	-	24.84	
Soil conditioner 55.000 Supply and lay turf (roll on)		5.20 8.23 4.92	-	Assume 5.5 ha	7.00 25.00 5.45	385,000	7.13 25.65	392,150 20mm thick
Supply and install stolons 55,000 Fertilising 55,000	m2 m2 m2 m2	4.92 0.25	270,699	Assume 5.5 ha Assume 5.5 ha	5.45 0.69	299,750 37,950	5.72 0.72	314,600 39,600
Soil Wetting Agent		0.31			0.53	- 1		_ :
Weed soravino 55.000 Sub total	m2	1.11 11.48	60.907 631,248	Assume 5.5 ha	1.38 14.52	75.900 798,600.00	U.5b 1.45 15.02	79.750 826,100.00
Hardworks (supply & install)								
Active piece of equipment (general allowance - basketball court, BMX Jumps, hit up wall, exercise equipment)	Item	34,669.35	-		50,000.00	-	55,000.00	This will be highly dependant on what is required; however, we allowed for provisional sum for an outdoor gym station as the current allowance seems
Hardcourt	Item	80,482.42			126,400.00	-	149,600.00	- allowed in this rate for an outdoor multifunction court of 5.10 sqm excluding fencing - Allowed for linemarking - Allowed for minimal stormwater drainage
Cricket practice nets (2 pitches and net)	Item	73,684.94	73,685	1 set	92,200.00	92,200	96,800.00	96,800 Double practice net enclosure 26620
Cricket pitch (all seasons)	Item	23,871.13	23,871	1 off	17,700.00	17,700	18,600.00	iona x 7800 wide Cricket pitch 29120 long x 4200 wide overall including synthetic turf, 100 thick reinforced concrete slab, 200x200
Lighting - training level for active playing field 1	Item	371.457.33	371,457		441.600.00	441,600	485,208.00	edae thickenina 485,208 Allowed 4 liahts per plavina field
Lighting - general (allowance)	Item	43,336.99	43.337	allowance only, includes car	47,495.74	47,496	49,870.52	49,871 Allowed for 10 6.5m Single Arm poles
						575,336		615,606 Surface preparation, formwork, joints,
Patris 5,640	m2	54.23	303,634	2820m of 2.0 wide path	102.01	3/3,336	109.15	
Fencing (bollard, post & rail, ringlock) 800	m	57.83	46,265	Say 800m	72.00	57,600	75.00	60,000 '1200 long timber bollard at 1500 spacing including excavation and backf
Bollard - Flexipole	Item	86.67	-		151.00	-	159.00	Allowed for recycled plastic bollard
	m	118.12	-		147.66	-	165.60	1500mm high
Fence - Timber Post & Rail Fence - Steel Post & Rail	m	111.97			289.80	-	331.20	- '1700h tubular set into concrete
Fence - Reserve (conservation fencing)	m	55.72	-		83.16	-	92.40	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Rural	m	55.72	-		83.16	-	92.40	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Chainlink Galvanised (2.4m)	m	87.36	-		124.48	-	136.62	-
Fence - Chainlink PVC Coated (2.4m) Fence - Steel Balustrade	m m	123.82 572.16	-		166.22 752.40		178.37 790.02	- Allowed for galavanised balustrade
	m	148.58	·		223.08	•	237.60	-
Gate - Boom General Gate - Reserve	Item Item	1.981.11 1.362.01			2.541.00 2.043.36		2.805.00 2.138.40	- Allowed for rural style boom gate - '5m wide gates allowed
Gate - Heavy Duty	Item	3,260.69		D	7,227.00	-	7,788.00	- '4000wx2400h double leaf gate
Tollets - large	Item	235,256.31	-	Provided with pavilion - maintenance costs allocated to pavilion maintenance	242,880.00	-	258,060.00	-
Tollets - small Car parking (Includes drainage, signage & landscaping) 281	Item m2	99.055.29	- 45 167	20 on street have	121.440.00	- 75,442	129.030.00 208.30	83.703
Car parking (includes drainage, signage & randscaping) Sub total	IIIZ	160.96 12.63	909,616	20 on street bays	268.86 18.16	75,442 1,307,374.26	298.30 19.58	83,703 1,409,787.50
Landscape Furniture (supply & install)								
Picnic table	Item	7,181.51	14,363	2 off	5,600.00	11,200	6,200.00	Cox 'PARKLINE' Street Furniture and Park Furniture - Wheelchair Accessible Table Setting with Access for Two (2) 12,400 Wheelchairs - Base-Connected Table and Benches. Powder Coated Aluminium Frames with HDPE Plastic



Shelter		Item	21,296.89	42,594	2 off	10,000.00	20,000	10,900.00	Cox "PARKLINE" Street Furniture and Park Furniture - Picnic Shelter with powder coated aluminium columns and SolarSpan roof (100mm thick fire-21,800 retarded expanded polystyrene core with Colourboad setel ceiling and high-rib trapezoidal profile roof). Standard Dimensions 4140mm L x 400mm W x 3000mm h) includes for concrete
Play equipment (combination with softfall & shade) - Large unit		1 Item	185,748.88	185,749	1 off	300,000.00	300,000	310,000.00	310,000 Provisional Sum, will depend largely on scope of works
Play equipment (combination with softfall & shade) - Small unit		Item	37,145.73			75,000.00	-	80,000.00	Provisional Sum, will depend largely on
Decking & footbridges		m2	1,485.83			1,584.00	-	1,676.40	scope of works
Seats (Bench)		Item	3,714.57	37,146	10 off	1,500.00	15,000	1,600.00	Seat – Cox 'PARKLINE' Street Furniture and Park Furniture – Park Bench. Powder coated aluminium frame with HDPE Plastic Battens in 'Charcoal Grey'.
Bin & dog litter bag dispenser		4 Item	1.480.93	5,924	4 off	4.500.00	18,000	4.725.00	18,900
Bike stand		2 Item	2,242.48	4,485	2 off	2,639.00	5,278	2,772.00	5,544 '6 stand blke rack fixed to concrete
Drinking fountain		Item	5,362.43	10,725	2 off	14,773.00	29,546	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN 30,942 WITH DOG BUBBLER type including water and electrical connection
BBQ - small		Item	12,381.91			14,058.00	-	14,679.00	DDA complaant single electric bbq - (includes for concrete slab and electrical connection)
BBQ - large		Item	18,572.87	18,573	1 off	23,460.00	23,460	24,095.00	DDA complaant double electric bbq 24,095 (includes for concrete slab and electrical connection)
Signage (allowance)		, Item	2,476.38	4,953	2 off	10,000.00	20,000	12,500.00	25.000 Provisional Sum due to lack of better
	Sub total	2	4.51	324,511		6.15	442,484.00	6.45	464,681.00 information
Total Develop	ment Costs		55.45	3.992.193		76.77	5.527.594	88.64	6.381.889
Indirect Costs Design. contract administration & construction management - % of overall project costs		12%		479,063			663,311		765,827
	Sub total		6.65	479.063		9.21	663.311.31	10.64	765.826.62
Total Ox	verall Costs		62.10	4,471,256		85.98	6,190,906	99.27	7,147,715
Maintenance Costs - 2 Years									
Turf and gardens (per annum)		2 Item	100,000.00	200,000		136,500.00	273,000	149,700.00	299,400
Conservation / parkland cleared (per annum)		Item	0.62			7,200.00	-	7,900.00	- Allowed for 5% of total area clearance
Landscape furniture		2 Item	10,000.00	20,000	Allowance of \$10.000/vr	16.380.00	32,760	17.980.00	35,960
Hardworks	Sub total	2 Item	20,000.00 3.61	40,000 260,000	Allowance of \$20,000/vr	31.500.00 5.12	63,000 368,760.00	34.600.00 5.62	69,200 404,560.00
Tota	l Unit Rate		65.71	4,731,256		91.11	6,559,666	104.89	7,552,275



Items	Area (m²)/Otv	Unit	Unit Rate	Total Unit Cost	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost	Unit Rate(\$2024)	Total Unit Cost Rawlinsons Additional Assumption (\$2024) & Comments
	Area (m²)/Otv			(\$2021)		(+/	(\$2023)		(\$2024) & Comments Generally, rates include for
arthworks									Preliminaries and contingency as the
									is no separate items for these
ut to fill over 1,000m3 - allowance	150.000	m3	12.00	674,824	Allow 0.5m average over 75% of the site	15.97	1,796,625	17.25	1,940,625 Balanced cut and fill over site 500mr 1000mm deep
Clearing scrub & trees - allowance	150.000 150.000	m2	3.69	138,425	of the site Allow 25% of the site	4.57	171,375	4.84	181 500
Strip topsoil and respread Sub total	150.000	m2	2.34 7.18	1,076,258	Allow 75% of the site	2.83 15.24	318.375 2,286,375.00	3.04 16.43	342.000 Allowance of 150mm deep top soil 2,464,125.00
Garden Beds - Landscaped Surrounds									
Prep of planting area (weed removal & general leveling)		m2	3.10	127 271	Assume 4.4378ha -Assume remaining 0.5ha is natural	3.50	155,323	5.31	235,647
Prep or planting area (weed removal & general leveling)	44,378	IIIZ	3.10	137,371	bush to remain Assume 4.4378ha -Assume	3.30	133,323	3.31	233,047
Import topsoil and machine spread (150mm thick)		m2	17.35	769.928	Assume 4.4378ha -Assume remaining 0.5ha is natural	22.01	976,760	24.84	1.102.350
7 ()	44,378				hush to remain Assume 4.4378ha -Assume				-,,
Soil conditioner (20mm thick blended into top 200mm @ \$60/m3 plus \$3 install)		m2	5.20	230,783	remaining 0.5ha is natural	7.00	310,646	7.13	316,415 Allowed for a supply of \$100/m3
	44.378				Assume 4.4378ha -Assume				
Supply and lay standard mulch by hand (75mm layer - \$50/m3 + \$3 install)	44,378	m2	9.63	427,556	remaining 0.5ha is natural	10.00	443,780	10.49	465,525 Allowed for supply of \$56/m3
Supply and lav high grade mulch by hand (75mm layer - \$90/m3 + \$3.50 fine finish install)	44,376	m2	14.77	6	bush to remain	15.00		15.27	- Allowed for supply of \$96/m3
Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes		m2	34.98	1.552.294	Assume 4.4378ha -Assume remaining 0.5ha is natural	43.13	1.914.023	45.09	2.001.004
	44.378				hush to remain				
					Assume 4.4378ha -Assume				This is highly dependent on scope as feature retaining walls are expensive
Miscellaneous allowance (kerb edging, feature retaining walls)		m2	6.19	274,742	remaining 0.5ha is natural	6.69	296,889	7.30	323,959 structures. We have only allowed to
					bush to remain				escalate the March 2022 rate till toda due to lack of better information
Sub total	44.378		76.45	3.392.674		92.33	4.097.420.74	100.16	4.444.900.48
Water Supply & Reticulation									
Irrigation - supply & install materials	136.690	m2	8.02	1,096,598	Assume 13.669ha	19.00	2,597,110	20.40	2,788,476
									(item) price of pumps and bores varie according to the volume of water
Bore (shallow - superficial)		Item	80,482.42			91,000.00	-	96,000.00	required, depth of water table, type of
									soil. Excluded allowance for tank
Bore (artesian)	1	Item	185,728.67	185,729	Assume 1 artesian bore with reservoir tanks	190,000.00	190,000	200,000.00	200,000 includes for tank
Iron Bacteria Filtration Unit Sub total		Item	99.055.29 9.38	1.282.327		149.000.00 20.39	2,787,110.00	156,000.00 21.86	2,988,476.00
			9.30	1,202,327		20.39	2,767,110.00	21.80	2,588,470.00
Turfing Prep of turfing area (weed removal & general leveling)		m2	3.45		Completed at earthworks stage	3.50		5.31	
Import topsoil and spread (150mm thick)		m2			Completed at earthworks stage	22.01		24.84	
Soil conditioner	87.200	m2	17.35 5.20	453.475	Assume 8.720ha	7.00	610.400	7.13	621.736 '20mm thick
Supply and lay turf (roll on) Supply and install stolons	87,200	m2 m2	8.23 4.92	429.180	Assume 8.720ha	25.00 5.45	475,240	25.65 5.72	498,784
Soll Wetting Agent	87.200	m2 m2	0.25	21,594	Assume 8.720ha	0.69 0.53	60,168	0.72	62,784
Weed spraying	87,200	m2 m2	0.31 1.11	96,566 1,000,815	Assume 8.720ha		120,336 1,266,144.00	0.56 1.45 15.02	126,440 1,309,744.00
Sub total			1.11 11.48	1,000,815		1.38 14.52	1,266,144.00	15.02	1,309,744.00
Hardworks (supply & install)									This will be highly dependant on what
									is required; however, we allowed for
Active piece of equipment (general allowance - basketball court, BMX jumps, hit up wall, exercise equipment)		Item	34,669.35			50,000.00	-	55,000.00	 provisional sum for an outdoor gym
									station as the current allowance seem
									- allowed in this rate for an outdoor
									multifunction court of 510 sqm
Hardcourt		Item	80,482.42			126,400.00	-	149,600.00	excluding fencing - Allowed for linemarking
									- Allowed for minimal stormwater
									drainage
Cricket practice nets (2 pitches and net)	2	Item	73,684.94	147,370	Say 2 sets	92,200.00	184,400	96,800.00	193,600 Double practice net enclosure 26620
									193,600 lona x 7800 wide Cricket pitch 29120 long x 4200 wide
Cricket pitch (all seasons)		Item	23,871.13	47,742	Say 2 off	17,700.00	35,400	18,600.00	37,200 overall including synthetic turf, 100 thick reinforced concrete slab, 200x2
	2				Lighting to 2 playing fields				edae thickenina
Lighting - training level for active playing field		Item	450,000.00	450,000	only, assume some poles will	441,600.00	441,600	485,208.00	485,208 Allowed 4 lights per playing field
	1	Y4	F0 316 **		he common use	47 405 71	47 .00	40.000.50	
Lighting - general (allowance)	1	Item	59,316.48		Allowance only	47,495.74	47,496	49,870.52	49,871 Allowed for 10 6.5m Single Arm poles
Paths	11,760	m2	54.23	637,696	Say 5,880m of 2.0 wide path	102.01	1,199,638	109.15	1,283,604 Surface preparation, formwork, joints finishing, unreinforced
Fencing (bollard, post & rail, ringlock)		m	57.83	86,747	Say 1.5km	72.00	108,000	75.00	112 Foo '1200 long timber bollard at 1500
	1,500								spacing including excavation and back
Bollard - Flexipole		Item	86.67			151.00	-	159.00	Allowed for recycled plastic bollard 1500mm high
Fence - Timber Post & Rail Fence - Steel Post & Rail		m	118.12 111.97			147.66 289.80		165.60 331.20	- '1500h - '1700h tubular set into concrete
									allowed for 1800mm high galv, chain
Fence - Reserve (conservation fencing)		m	55.72			83.16	-	92.40	mesh with posts and barbed wire
Fence - Rural		m	55.72			83.16		92.40	allowed for 1800mm high galv. chain
							-		mesh with posts and barbed wire
Fence - Chainlink Galvanised (2.4m) Fence - Chainlink PVC Coated (2.4m)		m m	87.36 123.82			124.48 166.22		136.62 178.37	
Fence - Chainlink PVC Coated (2.4m) Fence - Steel Balustrade		m	572.16			752.40		790.02	- Allowed for galavanised balustrade
Fence - Pool Fencing Sate - Boom General		m Item	148.58 1.981.11			223.08 2.541.00	-	237.60 2,805.00	- Allowed for rural style boom gate
sate - Boom General Sate - Reserve Sate - Heavy Duty		Item	1.362.01			2.043.36 7.227.00	· · · · · · · · · · · · · · · · · · ·	2.138,40	- '5m wide gates allowed
Sate - Heavy Duty		Item	3.260.69				-	7.788.00	- '4000wx2400h double leaf gate
Tollets - large		Item	235,256.31		Maintenance costs allocated to pavilion maintenance	242,880.00	-	258,060.00	-
			99,055.29			121,440.00		129,030.00	
Follets - small		Item	99,055.29			121,440.00			
Tollets - small Car parking (includes drainage, signage & landscaping) Sub total	561	Item m2	99,055.29 160.96 10.13	90,333	40 on street bays	268.86 14.45	150,884 2,167,417.57	298.30 15.53	167,406 2,329,388.48



		71.08	10,661,854		99.06	14,859,516	111.68	16,751,424
Sub total		5.27	790,000		4.95	742,512.62	5.43	814,536.72
Hardworks 2	Item	40.000.00	80.000	Allowance of \$40.000/vr	51.980.20	103.960	57.095.71	114.191
Conservation / parkland cleared (per annum) Landscape furniture	Item Item	15,000.00	.,	Allowance of \$15.000/vr	27.401.11	15,000 54,802	30.077.65	60,155 Allowed for 5% of total area clearance
Turf and gardens (per annum)	Item	675.000.00 5.000.00	675,000 5.000		568.750.00 15.000.00	568,750 15,000	623.750.00 16.440.00	623,750 this is for 2 years 16,440 Allowed for 5% of total area clearance
Maintenance Costs - 2 Years								
Total Overall Costs		65.81	9.871.854		94.11	14.117.003	106.25	15.936.888
Sub total		7.05	1,057,699		10.08	1,512,536.08	11.38	1,707,523.68
direct Costs esign, contract administration & construction management - % of overall project costs 129	6	%	1,057,699			1,512,536		1,707,524
Total Development Costs			8,814,156		84.03	12,604,467	94.86	14,229,364
Sub total		3.62	542.877		4.33	650.133.00	4.62	692.730.00
gnage (allowance)	Item	2,476.38	14,858	6 off	10,000.00	60,000	12,500.00	75,000 Provisional Sum due to lack of better information
BQ - large	Item	18,572.87	55,719	3 off	23,460.00	70,380	24,095.00	DDA complaant double electric bbq 72,285 (includes for concrete slab and electrical connection)
BQ - small	Item	12,381.91			14,058.00	-	14,679.00	DDA complaant single electric bbq - (includes for concrete slab and electrical connection)
inking fountain	Item	5,362.43	16,087	3 off	14,773.00	44,319	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN 46,413 WITH DOG BUBBLER type including water and electrical connection
ke stand	Item	2,242.48	13,455	6 off	2,639.00	15,834	2,772.00	16,632 '6 stand bike rack fixed to concrete
n & doa litter baa dispenser 8		1.480.93	11.847	8 off	4.500.00	36.000	4.725.00	27.000
eats (Bench)	Item	3,714.57	74,291	20 off	1,500.00	30,000	1,600.00	Seat – Cox 'PARKLINE' Street Furnit and Park Furniture – Park Bench. Powder coated aluminium frame wit HDPE Plastic Battens in 'Charcoal Gr
ecking & footbridges	m2	1.485.83			1.584.00	-	1.676.40	scope of works
lay equipment (combination with softfall & shade) - Small unit	Item	37,145.73			75,000.00	-	80,000.00	Provisional Sum, will depend largely
ay equipment (combination with softfall & shade) - Large unit	Item	185,748.88	185,749	1 off	300,000.00	300,000	310,000.00	310,000 Provisional Sum, will depend largely scope of works
shelter 6	Item	21,296.89	127,781	6 off	10,000.00	60,000	10,900.00	Cox *PARKLINE* Street Furniture and Park Furniture - Princi Shelter with powder coated aluminium columns at SolarSpan roof (100mm thick fire- res) (100mm thick fire- ewith Colourbond steel ceiling and high pir bt rapezoidal profile roof). Standard Dimensions 4140mm Lx 2400mm W 3000mm H) includes for concrete
nic table	Item	7,181.51	43,089	6 off	5,600.00	33,600	6,200.00	Cox "PARKLINE" Street Furniture an Park Furniture - Wheelchair Accessi Table Setting with Access for Two (37,200 Wheelchairs - Base-Connected Tabl and Benches. Powder Coated Aluminium Frames with HDPP Plasti Battens in 'Charcoal Grey'



Local Sporting Ground with Changerooms - 4.6ha									
Items	Area (m²)/Otv	Unit	Unit Rate	Total Unit Cost (\$2021)	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost (\$2023)	Unit Rate(\$2024)	Total Unit Cost Rawlinsons Additional Assumptions (\$2024) & Comments
									Generally, rates include for
<u>Earthworks</u>									Preliminaries and contingency as there is no separate items for these
Cut to fill over 1,000m3 - allowance		m3	12.00	275,928	Allow 0.5m average over entire	15.97	734,620	17.25	793,500 Balanced cut and fill over site 500mm-
Clearing scrub & trees - allowance	46,000 46.000	m2	3.69		site Allow 50% of site	4.57	105,110	4.84	1000mm deep 111.320
Strip topsoil and respread	46.000	m2	2.34 10.18	107.541	Allow 100% of site	2.83 21.09	130.180	3.04 22,71	139.840 Allowance of 150mm deep top soil
Sub total			10.18	468,370		21.09	969,910.00	22.71	1,044,660.00
Garden Beds - Landscaped Surrounds									
Preo of planting area (weed removal & general leveling) Import topsoil and machine spread (150mm thick)	204 204 204	m2 m2 m2	3.10 17.35	631	Assume 0.0204ha Assume 0.0204ha	3.50 22.01	714 4,490	5.31 24.84	1.083 5.067
Soil conditioner (20mm thick blended into too 200mm @ \$60/m3 plus \$3 install)	204	m2	5.20	1.061	Assume 0.0204ha	7.00	1.428	7.13	1,455 Allowed for a supply of \$100/m3
Supply and lay standard mulch by hand (75mm layer - \$50/m3 + \$3 install)	204	m2	9.63	1,965	Assume 0.0204ha	10.00	2,040	10.49	2,140 Allowed for supply of \$56/m3
Supply and lay high grade mulch by hand (75mm layer - \$90/m3 + \$3.50 fine finish install) Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes	204	m2 m2	14.77 34.98	7 126	Assume 0.0204ha	15.00 43.13	- 8,799	15.27 45.09	- Allowed for supply of \$96/m3 9.198
Supply and itiscali plants (includes allowance for 1 x 100) tree per 40/12/ see notes	204	IIIZ	54.56	7,130	Assume 0.0204118	43.13	6,755	10.09	This is highly dependent on scope as
									feature retaining walls are expensive
Miscellaneous allowance (kerb edging, feature retaining walls)		m2	6.19	1,263	Assume 0.0204ha	6.69	1,365	7.30	1,489 structures. We have only allowed to
									escalate the March 2022 rate till today
	204								due to lack of better information
Sub total			76.45	15,596		92.33	18,835.32	100.16	20,432.64
Water Supply & Reticulation									
Irrigation - supply & install materials	43.700	m2	8.02	350.584	Assume 95% of POS	19.00	830.300	20.40	891.480
									(item) price of pumps and bores varies
Bore (shallow - superficial)		Item	80,482.42	80,482	Allows 20m (50m) bore construction	91,000.00	91,000	96,000.00	96,000 according to the volume of water required, depth of water table, type of
					Construction				soil. Excluded allowance for tank
Bore (artesian)	1	Item	185,728,67			190,000,00		200.000.00	- includes for tank
Iron Bacteria Filtration Unit		Item	99.055.29			149.000.00	-	156,000,00	-
Sub total			9.86	431.067		21.08	921.300.00	22.60	987.480.00
Turfing					†				
Prep of turfing area (weed removal & general leveling)		m2	3.45		Completed at earthworks stage	3.50	-	5.31	-
Import topsoil and spread (150mm thick)		m2	17.35		completed at cartimorks stage	22.01		24.84	
Soil conditioner	43,656	m2	5.20	227,029	Assume 4.3656 ha	7.00	305,592	7.13	311,267 '20mm thick
Supply and lay turf (roll on)		m2	8.23			25.00		25,65	-
Supply and install stolons Fertilising	43,656 43,656	m2 m2	4.92 0.25		Assume 4.3656 ha Assume 4.3656 ha	5.45 0.69	237,925 30,123	5.72 0.72	249,712 31,432
Soll Wetting Agent		m2	0.31			0.53	-	0.56	•
Weed soraving	43.656	m2	1.11 11.48	48.345	Assume 4.3656 ha	1.38	60.245 633,885,12	1.45	63,301
Sub total			11.48	501,050		14.52	633,885.12	15.02	655,713.12
Hardworks (supply & install)									
									This will be highly dependant on what is required: however, we allowed for
Active piece of equipment (general allowance - basketball court, BMX jumps, hit up wall, exercise equipment)		Item	34,669.35			50,000.00	_	55,000.00	- provisional sum for an outdoor gym
									station as the current allowance seems
									Inw
									- allowed in this rate for an outdoor
									- allowed in this rate for an outdoor multifunction court of 510 sqm
Hardcourt		Item	80.482.42			126.400.00	_	149,600.00	allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing
Hardcourt		Item	80,482.42			126,400.00	-	149,600.00	- allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing - Allowed for linemarking
Hardcourt		Item	80,482.42			126,400.00	-	149,600.00	- allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing - Allowed for linemarking - Allowed for minimal stormwater
Hardcourt		Item	80,482.42			126,400.00	-	149,600.00	- allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing - Allowed for linemarking - Allowed for minimal stormwater drainage
Hardcourt Cricket practice nets (2 pitches and net)	1	Item Item	80,482.42 73,684.94	73,685	1 set	126,400.00	92,200	149,600.00 96,800.00	- allowed in this rate for an outdoor multfunction court of 510 sgm excluding fencing - Allowed for linemarking - Allowed for minimal stormwater drainage os ann Double practice net enclosure 26620
	1			73,685	1 set	•	92,200		- allowed in this rate for an outdoor multifunction court of 510 sgm exxtuding fearing - Allowed for linemarking - Allowed for linemarking - Allowed for minimal stormwater drainage - Double practice net enclosure 26620 long x 7800 wide - long x 4200 wide - long x 4200 wide
Cricket practice nets (2 pitches and net)	1			73,685 23,871		•	92,200		- allowed in this rate for an outdoor multifunction court of \$10 sqm excluding feeting - Allowed for ilinemarking - Allowed for minimal stormwater drainage - Boston - Stormwater drainage - Boston - Stormwater drainage - Stormwater - Stormw
	1	Item	73,684.94			92,200.00		96,800.00	- allowed in this rate for an outdoor multifunction court of 510 sqm exxtuding fearing - Allowed for linemarking - Allowed for minimal stormwater drainage. 96,800 Double practice net enclosure 26620 cricket programmer of the cricket programmer of the cricket price of the cricket p
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons)	1 1 1	Item	73,684.94	23,871	1 off	92,200.00		96,800.00	- allowed in this rate for an outdoor multifunction court of \$10 sqm excluding feeting - Allowed for ilinemarking - Allowed for minimal stormwater drainage - Boston - Stormwater drainage - Boston - Stormwater drainage - Stormwater - Stormw
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Lighting - training level for active playing field	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	Item Item	73,684.94 23,871.13	23,871	1 off allowance only, includes car	92,200.00	17,700	96,800.00 18,600.00	- allowed in this rate for an outdoor multifunction court of \$10 sqm exxtuding fearing - Allowed for linemarking - Allowed for minimal stormwater drainage - Allowed for minimal stormwater drainage - Bobb practice net enclosure 26620 long x 7800 wide Cricket prict 29120 long x 4200 wide Cricket prict 29120 long x 4200 wide cricket priction concrete slab, 2006/200 soften thirk-drain concrete slab, 2006/200 soft
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Lighting - training level for active playing field Lighting - general (allowance)	1 1 1	Item Item Item Item Item	73,684.94 23,871.13 371.457.33 41,521.54	23,871 371,457 41,522	1 off allowance only, includes car park	92,200.00 17,700.00 441.600.00 47,495.74	17,700 441,600 47,496	96,800.00 18,600.00 485.208.00 49,870.52	- allowed in this rate for an outdoor multifunction court of \$10 sqm exxduding feeding - Allowed for linemarking - Allowed for minimal stormwater drainage - 100 could be practice net enclosure 26620 long x 7800 wide - Cricket pitch 29120 long x 4200 wide overall including synthetic turf, 100 thick reinforced concrete slab, 200x.00 after thirkening - 100 could be allowed for 10 6.5m Single Arm poles 32 320. Surface preparation, formork, joints,
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Liphting - training level for active playing field Lighting - general (allowance)	1 1 1 1 800	Item Item	73,684.94 23,871.13 371.457.33	23,871 371,457 41,522	1 off allowance only, includes car	92,200.00 17,700.00 441.600.00	17,700 441,600	96,800.00 18,600.00 485.208.00	- allowed in this rate for an outdoor multifunction court of \$10 sqm excluding feeding - Allowed for linemarking - Allowed for minimal stormwater drainage - Allowed for minimal stormwater drainage - Bobb practice net enclosure 26620 long x 7800 wide - Cricket prict 29120 long x 4200 wide - Cricket prict 29120 long x 4200 wide - Cricket prict 29120 long x 4200 middle - Cricket prict 29120 long x 6200 mid
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Lighting - training level for active playing field Lighting - general (allowance) Paths	1 1 1 1 800	Item Item Item Item Item	73,684.94 23,871.13 371.457.33 41,521.54 54.23	23,871 371,457 41,522 43,381	1 off allowance only, includes car park 400m of 2.0 wide path	92,200.00 17,700.00 441.600.00 47,495.74 102.01	17,700 441,600 47,496 81,608	96,800.00 18,600.00 485,208.00 49,870.52 109,15	- allowed in this rate for an outdoor multifunction court of \$10 sgm excluding feeding - Allowed for linemarking - Allowed for linemarking draing - Allowed for minimal stormwater drainage - Bootile practice nat enclosure 26620 bootile practice native for the proposed practice of the practice o
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Lighting - training level for active playing field Lighting - general (allowance)	1 1 1 1 800	Item Item Item Item Item one	73,684.94 23,871.13 371.457.33 41,521.54	23,871 371,457 41,522 43,381	1 off allowance only, includes car park	92,200.00 17,700.00 441.600.00 47,495.74	17,700 441,600 47,496	96,800.00 18,600.00 485.208.00 49,870.52	- allowed in this rate for an outdoor multifunction court of \$10 sqm excluding feeting - Allowed for linemarking - Allowed for minimal stormwater drainage - Allowed for minimal stormwater - Allowed 18,000 mg/s - Allowed 19,000
Cricket practice nets (2 pitches and net) Cricket pitch (all seasons) Lighting - training level for active playing field Lighting - general (allowance) Paths		Item Item Item Item Item one	73,684.94 23,871.13 371.457.33 41,521.54 54.23	23,871 371,457 41,522 43,381	1 off allowance only, includes car park 400m of 2.0 wide path	92,200.00 17,700.00 441.600.00 47,495.74 102.01	17,700 441,600 47,496 81,608	96,800.00 18,600.00 485,208.00 49,870.52 109,15	- allowed in this rate for an outdoor multifunction court of \$10 sqm exxtuding fearing - Allowed for linemarking - Allowed for minimal stormwater drainage - Allowed for minimal stormwater drainage - Bobb practice net enclosure 26620 long x 7800 wide Cricket prict 29120 long x 4200 wide Cricket prict 29120 long x 4200 wide Cricket priction concrete size, 2000.000 and 18,2008.200 and the historian concrete size, 2000.000 485,208 Allowed 4 liohts per laving field 49,871 Allowed for 10 6.5m Single Arm poles 57,320 Surface preparation, formwork, joints, finishiou presidenced.

(20) (Extension | 2001) (Extensi



Fence - Steel Post & Rail	m	111.97			289.80	-	331.20	- '1700h tubular set into concrete
Fence - Reserve (conservation fencing)	m				83.16	_	92.40	allowed for 1800mm high galv. chain
rence - Reserve (conservation rencing)		55.72			63.10	-	92.40	mesh with posts and barbed wire
Fence - Rural	m	55.72			83.16	-	92.40	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Chainlink Galvanised (2.4m)	m	87.36			124.48	-	136.62	-
Fence - Chainlink PVC Coated (2.4m)	m	123.82			166.22	-	178.37	-
Fence - Steel Balustrade	m				752.40	-	790.02	 Allowed for galavanised balustrade
Fence - Pool Fencing	m	148.58			223.08	-	237.60	-
Gate - Boom General	Iter	n 1.981.11			2.541.00	-	2.805.00	 Allowed for rural style boom gate
Gate - Reserve	Iter				2.043.36	-	2.138.40	- '5m wide gates allowed
Gate - Heavy Duty	Iter	n 3.260.69			7.227.00	- !	7.788.00	- '4000wx2400h double leaf gate
Toilets - large	Iter	n 235,256.31	maii	vided with pavilion - ntenance costs allocated to ilion maintenance	242,880.00	-	258,060.00	-
Toilets - small	Iter	n 99.055.29			121.440.00	-	129.030.00	
Tories - Strian Car parking (includes drainage, signage & landscaping)	140 m2		22 583 10 4	on street bavs	268 86	37.721	298.30	41.851
Sub total	240 1112	13.54	622,764	DIT SUICEL DOVS	16.87	775,924.80	18.25	839,650.01
Sub total		20:07	ULL//UT		10:07	775/524.00	AUIEU	055/050.01
Landscape Furniture (supply & install)								
Plicnic table	Iter 2	n 7,181.51	14,363 2 of	ff	5,600.00	11,200	6,200.00	Cox 'PARKLINE' Street Furniture and Park Furniture - Wheelchair Accessible Table Setting with Access for Two (2) 12,400 Wheelchairs - Base-Connected Table and Benches, Powder Coated Aluminium Frames with HDPF Plastic Battes in 'Charcoal Grey' Largorian Language Battes in 'Charcoal Grey'
Shelter	Iter	n 21,296.89	42,594 2 of	ff	10,000.00	20,000	10,900.00	Cox "PARKLINE" Street Furniture and Park Furniture - Picnic Shelter with powder coated aluminium columns and SolarSpan roof (100mm thick fire- 21,800 retarded exposted polystyrene core with Colourbond steel ceiling and high- rib trapecoidal profile rood). Standard Dimensions 4140mm Lx 2400mm Wx 3000mm H) includes for concrete
Play equipment (combination with softfall & shade) - Large unit	1 Iter	n 185,748.88	185,749 1 of	ff	300,000.00	300,000	300,000.00	300,000 Provisional Sum, will depend largely on scope of works
Play equipment (combination with softfall & shade) - Small unit	Iter	n 37,145.73			75,000.00	_	80,000.00	Provisional Sum, will depend largely on
								scope of works
Decking & footbridges	m/	1.485.83			1.584.00	-	1.676.40	
Seats (Bench)	Iter	n 3,714.57	37,146 10 c	off	1,500.00	15,000	1,600.00	Seat – Cox 'PARKLINE' Street Furniture 16,000 Park Furniture – Park Bench. Powder coated aluminium frame with HDPE Plastic Battens in 'Charcoal Grey'.
Bin & dog litter bag dispenser	4 Iter	n 1.480.93	5,924 4 of	ff	4.500.00	18,000	4.725.00	18,900
								5,544 '6 stand bike rack fixed to concrete
Bike stand	2 Iter	n 2,242.48	4,485 2 of	т	2,639.00	5,278	2,772.00	
Drinking fountain	Iter	n 5,362.43	5,362 1 of	ff	14,773.00	14,773	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN WITH DOG BUBBLER type including water and electrical connection
BBQ - small	Iter	n 12,381.91			14,058.00	-	14,679.00	DDA complaant single electric bbq - (includes for concrete slab and electrical connection)
BBQ - large	Iter 1	n 18,572.87	18,573 1 of	ff	23,460.00	23,460	24,095.00	DDA complaant double electric bbq 24,095 (includes for concrete slab and electrical connection)
Signage (allowance)	_ Iter	n 2,476.38	4,953 2 of	ff	10,000.00	20,000	12,500.00	25 000 Provisional Sum due to lack of better
	2 100							
Sub total		6.94	319,148		9.30	427,711.00	9.55	439,210.00
Total Development Costs		51.26	2 257 005		72.17	3,319,855	86.68	3,987,146
i otai Development Costs		51.26	2,357,995		/2.1/	3,319,855	86.68	3,967,146
Indirect Costs								
Designer, contract administration & construction management - % of overall project costs	12%		282 950			398.383		478.457
Design, contract administration & construction management - % of overall project costs Sub total	12.70	6.15	282,959 282,959		8.66	398,382.63	10.40	478,457.49
Total Overall Costs		57.41	2,640,954		80.83	3,718,238	97.08	4,465,603
Maintenance Costs - 2 Years								
Furf and gardens (per annum)	2 Iter	n 100.000.00	200,000		87.208.33	174,417	95.641.67	191,283
Conservation / parkland cleared (per annum)	Iter				4,600,00	_	5,041.60	- Allowed for 5% of total area clearance
Landscape furniture	2 Iter	n 10,000.00	20,000 Allo	wance of \$10.000/vr	16.380.00	32,760	17.980.00	35,960
Hardworks	2 Iter	n 20,000.00	40,000 Allo	wance of \$20.000/vr	21.554.46	43,109	23,675,69	47,351
Sub total		5.65	260.000		5.44	250.285.58	5.97	274.594.72
		5.65 63.06	2,900,954		5.44 86.27	250.285.58 3,968,523	5.97 103.05	274.594.72 4,740,198



Local Sporting Ground without Changerooms - 4.6ha Items Area (m²)/Otv	Ur	Init	Unit Rate	Total Unit Cost	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost	Unit R	Rate(\$2024)	Total Unit Cost	Rawlinsons Additional Assumptions & Comments
				7\$2021)	Allow 0.5m average over entire		7\$20231			7820241	Generally, rates include for
<u>Earthworks</u>					site						Preliminaries and contingency as there is no separate items for these
Cut to fill over 1,000m3 - allowance 46, Clearing scrub & trees - allowance 46.	000 ⁿ	m3	12.00		Allow 50% of site	15.97	367,310		17.25	396,750	
Clearing scrub & trees - allowance 46.0 Strio toosoil and resoread 46.1	000 n	m2 m2	3.69 2.34	84,901 107,541	Allow 100% of site	4.57 2.83	210,220 130,180		4.84 3.04	222,640 139,840	Allowance of 150mm deep top soil
Sub total			2.34 10.18	107.541 468,370		2.83 15.39	130.180 707,710.00		3.04 16.51	139.840 759,230.00	
Garden Beds - Landscaped Surrounds											
Preo of olartina area (weed removal & oeneral levelino) 1. Import toosoil and machine soread (150mm thick) 1,	144 n	m2 m2 m2 m2	3.10 17.35	3.541 19,848	Assume 0.1144ha Assume 0.1144ha	3.50 22.01	4.004 25,179		5.31 24.84	6.075 28,417	
Soli condition (20mm facilities and 175min facilities and 175min facilities) 1,	144 n	m2	17.35 5.20 9.63	5,949	Assume 0.1144ha Assume 0.1144ha	7.00 10.00	8,008 11,440		7.13 10.49	8,157	Allowed for a supply of \$100/m3 Allowed for supply of \$56/m3
I Supply and lay high grade mulch by hand (75mm layer - \$90/m3 + \$3.50 fine finish install)	raea II	m2 m2	14.77 34.98			15.00			15.27		
Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes 1,	144 n	m2	34.98	40,016	Assume 0.1144ha	43.13	49,341		45.09	51,583	
Miscellaneous allowance (kerb edging, feature retaining walls)	п	m2	6.19	7,082	Assume 0.1144ha	6.69	7,653		7.30	8,351	This is highly dependent on scope as feature retaining walls are expensive structures. We have only allowed to escalate the March 2022 rate till today
1.: Sub total	44		76.45	87,458		92.33	105,625.52		100.16	114,583.04	due to lack of better information
Water Supply & Reticulation			70.45	0,,,30		72.00	TOS/OLSISE		100.10	114/505/04	
		m2	8.02	250 400	Assume 100% of turf & garden	19.00	851,200		20.40	913,920	
Irrigation - supply & install materials 44,	300 ''	IIIZ	8.02	339,409	Assume 100% of turn & garden	19.00	631,200		20.40	513,520	<u> </u>
Bore (shallow - superficial)	It	tem	80,482.42	80,482	Allows 20m (50m) bore construction	91,000.00	91,000		96,000.00	96,000	(item) price of pumps and bores varies according to the volume of water required, depth of water table, type of soil. Excluded allowance for tank
Bore (artesian)	It	tem	185,728.67		Allows approx 100m bore	190,000.00	-		200,000.00	-	includes for tank
Iron Bacteria Filtration Unit		tem	99.055.29 9.82		construction	149.000.00 21.03			156.000.00 22.54		
Sub total			9.82	439.891		21.03	942.200.00		22.54	1.009.920.00	
Turfing											
Prep of turfing area (weed removal & general leveling)	п	m2	3.45		Completed at earthworks stage	3.50	-		5.31		
Import topsoil and spread (150mm thick) Soil conditioner 43.4	п	m2 m2	17.35 5.20	994 000	Assume 4.3656ha	22.01	- 305,592		24.84	244 5	'20mm thick
Supply and lay truf (roll on)		m2	8.23			7.00 25.00 5.45			7.13 25.65		Zumm tnick
Supply and install stolons 43, Fertilising 43,	56 n	m2 m2 m2	4.92 0.25	214,866	Assume 4.3656ha Assume 4.3656ha	5.45	237,925 30,123		5.72 0.72	249,712 31.432	
Soil Wetting Agent	n	m2	0.31			0.69 0.53			0.56		
Weed spraving 43.6 Sub total	556 n	m2	1.11 11.48	48.345 501.050	Assume 4.3656ha	1.38 14.52	60.245 633,885.12		1.45 15.02	63.301 655,713.12	
Hardworks (supply & install)				,			,				
Active piece of equipment (general allowance - basketball court, BMX jumps, hit up wall, exercise equipment)	It	tem	34,669.35			50,000.00	-		55,000.00	-	This will be highly dependant on what is required; however, we allowed for provisional sum for an outdoor gym station as the current allowance seems
Hardcourt	It	tem	80,482.42			126,400.00	-		149,600.00		- allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing - Allowed for linemarking - Allowed for minimal stormwater drainage
Cricket practice nets (2 pitches and net)	1 It	tem	73,684.94	73,685	1 set	92,200.00	92,200		96,800.00	96,800	Double practice net enclosure 26620
Cricket pitch (all seasons)		tem	23,871.13	23,871	1 off	17,700.00	17,700		18,600.00		Cricket pitch 29120 long x 4200 wide overall including synthetic turf, 100 thick reinforced concrete slab, 200x200
Lighting - training level for active playing field	1 1 It	tem	371.457.33	371,457		441,600,00	441,600		485,208,00	485,208	edne thickening Allowed 4 lights per plaving field
Lighting - general (allowance)	1 Ito	tem	61,909.99	61,910	JBA increased from 25K to 50K	47,495.74	47,496		49,870.52		Allowed for 10 6.5m Single Arm poles
		m2	54.23		- allowance only Say 1200m of 2.0 wide path	102.01	244,824		109.15		Surface preparation, formwork, joints, finishing, unreinforced
2,4	100 n	IIIZ	34.23	130,142	Say 120011 of 2.0 wide path	102.01	244,024		109.15	201,500	finishina, unreinforced
Fencing (bollard, post & rail, ringlock)	700 n	m	57.83	40,482	Say 700m	72.00	50,400		75.00	52,500	'1200 long timber bollard at 1500 spacing including excavation and backfi
Bollard - Flexipole	It	tem	86.67			151.00	-		159.00	-	Allowed for recycled plastic bollard 1500mm high
Fence - Timber Post & Rail Fence - Steel Post & Rail		m	118.12 111.97			147.66 289.80	-		165.60 331.20	-	'1500h '1700h tubular set into concrete
Fence - Reserve (conservation fencing)	п	m	55.72			83.16	-		92.40	-	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Rural	п	m	55.72			83.16	-		92.40	-	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Chainlink Galvanised (2.4m) Fence - Chainlink PVC Coated (2.4m)	п	m	87.36			124.48	-		136.62	-	
		m m	123.82 572.16			166.22			178.37	-	Allowed for galavanised balustrade
Fence - Sool Fencing Gate - Boom General	, i	m tem	572.16 148.58			752.40 223.08 2.541.00			790.02 237.60		Allowed for rural style boom gate
Gate - Reserve	It It	tern tem	1.981.11 1.362.01			2.043.36	-		2.805.00 2.138.40	-	'5m wide gates allowed
Gate - Reserve Gate - Heavy Duty	1 It	tem tem tem	3.260.69 235.256.31	225.257	Required if no navilion	7.227.00	- 242,880		2.138.40 7.788.00 258.060.00	258.060	'5m wide gates allowed '4000wx2400h double leaf gate
Tollets - large Tollets - small	ı Ib	tem tem m2	99.055.29			121.440.00	-		129.030.00		
Car parking (includes drainage, signage & landscaping) Sub total	140 n	m2	160.96 20.86	22.583 959.387	10 on street bavs	268.86 25.54	37.721 1,174,820.80		298.30 27.50	41.851 1,264,850.01	
Landscape Furniture (supply & install)				,			-, ,			-,,	
Picnic table	Its 2	tem	7,181.51	14,363	2 off	5,600.00	11,200		6,200.00	12,400	Cox 'PARKLINE' Street Furniture and Park Furniture - Wheelchair Accessible Table Setting with Access for Two (2) Wheelchairs - Base-Connected Table and Benches. Powder Coated Aluminium Frames with HDPE Plastic Battens in 'Charcoal Grey'
Shelter	Ito 2	tem	21,296.89	42,594	2 off	10,000.00	20,000		10,900.00	21,800	Cox "PARKLINE" Street Furniture and Park Furniture - Picnic Shelter with powder coated aluminium columns and SolarSpan roof (100mm thick fire- retarded expanded polystyrene core with Colourbond steel celling and high- rib trapezoidal profile roof). Standard Dimensions 4140mm Ix 2400mm W x 3000mm H) includes for concludes for includes for constant of the profile roof.

\$1/(\$)(1,5 to the \$1/2017,000 C, business, \$2.07(1), \$1 to the second cost to produce \$2.07(1), \$2,000 to the second \$2.07(1), \$2.000 to the second \$2.07(1



	Total Unit Rate		73.66	3.388.341	92,41	4,250,858	109.50	5,036,792
	Sub total		6.09	280,000	5.63	258,907.36	6.18	284,065.00
Hardworks		2 Item	30.000.00	60,000 Allowance of \$30,000/vr	25.865.35	51.731	28.410.83	56.822
andscape furniture		2 Item	20,000.00	40,000 Allowance of \$20,000/vr	16.380.00	32,760	17.980.00	35,960
onservation / parkland cleared (per annum)		Item	0.10		4,600.00	_	5.041.60	Allowed for 5% of total area clearance
Furf and gardens (per annum)		2 Item	90,000.00	180,000 Allowance of \$90,000/yr	87,208.33	174,417	95,641.67	191,283
laintenance Costs - 2 Years								
Ţ.	otal Overall Costs		67.57	3,108,341	86.78	3,991,950	103.32	4,752,727
	Sub total		7.24	333,037	9.30	427,708.97	11.07	509,220.74
Indirect Costs Design, contract administration & construction management - % of overall project costs		12%		333,037 333,037		427,709		509,221
	evelopment Costs		60.33	2.775.305	77.48	3.564.241	92.25	4.243.506
organization (unionalities)	Sub total	2 100111	6.94	319,148	9.30	427,711.00	9.55	439,210.00 information
Signage (allowance)		1 Item	2.476.38	4,953 2 off	10.000.00	20,000	12.500.00	electrical connection). 25,000 Provisional Sum due to lack of better
BBQ - large		Item	18,572.87	18,573 1 off	23,460.00	23,460	24,095.00	DDA complaant double electric bbq 24,095 (includes for concrete slab and
BBQ - small		Item	12,381.91		14,058.00	-	14,679.00	(includes for concrete slab and electrical connection)
		1						water and electrical connection DDA complaant single electric bbq
Drinking fountain		Item	5,362.43	5,362 1 off	14,773.00	14,773	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN 15,471 WITH DOG BUBBLER type including
Blke stand		2 Item	2,242.48	4,485 2 off	2,639.00	5,278	2,772.00	5,544 '6 stand blke rack fixed to concrete surface
Bin & dog litter bag dispenser		4 Item	1.480.93	5,924 4 off	4.500.00	18,000	4.725.00	18,900
Seats (Bench)		Item	3,714.57	37,146 10 off	1,500.00	15,000	1,600.00	Seat – Cox 'PARKLINE' Street Furnitur and Park Furniture – Park Bench. Powder coated aluminium frame with HDPE Plastic Battens in 'Charcoal Grey
Deckina & footbridaes		m2	1.485.83		1.584.00	-	1.676.40	-
Play equipment (combination with softfall & shade) - Small unit		Item	37,145.73		75,000.00	-	80,000.00	Provisional Sum, will depend largely or scope of works
Play equipment (combination with softfall & shade) - Large unit		1 Item	185,748.88	185,749 1 off	300,000.00	300,000	300,000.00	300,000 Provisional Sum, will depend largely of scope of works

20/L/Limane/2001/30 PE_Community_COT/L/Limane/Limate/Liman



Neighbourhood Park - 1.0ha		Unit	Unit Rate	Total Unit Cost	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost	Unit Rate(\$	7024) Total Unit Cost	Rawlinsons Additional Assumptions
items	Area (m²)/Otv	Unit	Onit Rate	(\$2022)	Assumptions & Comments	Onit Rate(\$2023)	(\$2023)	Onk kate(\$	(\$2024) (\$2024)	& Comments Generally, rates include for
Earthworks										Preliminaries and contingency as there is no separate items for these
Cut to fill over 1,000m3 - allowance	2,000	m3	12.00		Allow nominal 2,000m3	15.97	31,940		17.25 34,5	Balanced cut and fill over site 500mm- 1000mm deep
Clearing scrub & trees - allowance Strip topsoil and respread		m2 m2	3.69 2.34	-	Nil	4.57 2.83			4.84 -	Allowance of 150mm deep top soil
Sub total			2.34 2.40	23,994		2.83 3.19	31,940.00		3.04 3.45 34,500.0	O
Garden Beds - Landscaped Surrounds Preo of planting area (weed removal & general leveling)	F 000		3.10	15.422	Allow 50% of POS	3.50	17.500		5.31 26.5	
	5.000 5,000 5,000	m2 m2 m2 m2	17.35	86.747	Allow 50% of POS		110.050			
Soll conditioner (20mm thick blended into too 200mm @ \$60/m3 olus \$3 install) Supoly and lay standard mulch by hand (75mm layer - \$50/m3 + \$3 install) Supoly and lay high rapid which by hand (75mm layer - \$90/m3 + \$3.50 fine finish install)		m2 m2	17.35 5.20 9.63	-	Allow 50% of POS	7.00 10.00	35,000		7.13 35,6 10.49 -	
Supply and lav high grade mulch by hand (75mm laver - \$90/m3 + \$3.50 fine finish install) Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes	5.000 5.000	m2 m2	14.77 34.98	73.827 174.894	Allow 50% of POS Allow 50% of POS	15.00 43.13	75.000 215,650		15.27 76.3 45.09 225,4	O Allowed for supply of \$96/m3
Miscellaneous allowance (kerb edging, feature retaining walls)		m2	6.19	30,955	Allow 50% of POS	6.69	33,450		7.30 36,5	This is highly dependent on scope as feature retaining walls are expensive on structures. We have only allowed to
	5.000									escalate the March 2022 rate till today due to lack of better information
Sub total	5.000		81.58	407,902		48.67	486,650.00		52.47 524,700.0	0
Water Supply & Reticulation Irrigation - supply & install materials	10.000	m2	8.02	90 225	Assume 100% of POS	19.00	190.000		20.40 204.0	00
IFFICACION - SUDDIV & INStall Materials	10.000	IIIZ	6.02	80.223		19.00	190.000		20.40 204.0	(item) price of pumps and bores varies
Bore (shallow - superficial)	1	Item	80,482.42	80,482	Allows 20m (50m) bore construction	91,000.00	91,000	96	,000.00 96,0	according to the volume of water required, depth of water table, type of soil. Excluded allowance for tank
Bore (artesian) Iron Bacteria Filtration Unit		Item Item	185.728.67 99.055.29	-		190.000.00	-	200	.000.00 -	includes for tank
Sub total			99.055.29 16.07	160.708		149.000.00 28.10	281.000.00		.000.00 - 30.00 300.000.0	0
Turfing Prep of turfing area (weed removal & general leveling)	10.000	m2	3.45	17 226	Allow 50% of POS	3.50	35,000		5.31 53,1	10
Import topsoil and spread (150mm thick) Soil conditioner	10.000 10.000 10.000	m2	17.35 5.20	86.747	Allow 50% of POS Allow 50% of POS	22.01 7.00	220.100 70.000		24.84 248.4	in .
Supply and lay turf (roll on)	10,000	m2 m2 m2 m2	8.23 4.92	26,002 41,158	Allow 50% of POS	25.00 5.45	250,000		25.65 256,5	00 20mm thick
Supply and install stolons Fertilising	10.000	m2	4.92 0.25 0.31		Allow 50% of POS	5.45 0.69 0.53	- 6,900		5.72 - 0.72 7,2 0.56 -	00
Soll Wetting Agent Weed spraying	10,000	m2 m2	0.31 1.11	5,537	Allow 50% of POS	0.53 1.38	- 13,800 595,800.00		0.56 - 1.45 14,5 65.10 651,000.0	00
Sub total	/,		35.58	177,909	7000 2070 01102	1.38 59.58	595,800.00		1,45 14,5 65.10 651,000.0	0
Hardworks (supply & install)										This will be highly dependant on what
Active piece of equipment (general allowance - basketball court, BMX jumps, hit up wall, exercise equipment)	1	Item	34,669.35	34,669		50,000.00	50,000	55	,000.00 55,0	is required; however, we allowed for provisional sum for an outdoor gym station as the current allowance seems
Hardcourt		Item	80,482.42	-		126,400.00	-	145	,600.00 -	allowed in this rate for an outdoor multifunction court of 510 sqm excluding fencing Allowed for linemarking Allowed for minimal stormwater drainage
Cricket practice nets (2 pitches and net)		Item	73,684.94	-		92,200.00	-	96	,800.00 -	Double practice net enclosure 26620 long x 7800 wide Cricket pitch 29120 long x 4200 wide
Cricket pitch (all seasons)		Item	23,871.13	-		17,700.00	-	18	,600.00 -	overall including synthetic turf, 100 thick reinforced concrete slab, 200x200 edge thickening
Lighting - training level for active playing field		Item	371.457.33	-		441.600.00	-		.208.00 -	Allowed 4 lights per plaving field
Lighting - general (allowance)		Item	61,909.99	-		47,495.74	-	49	,870.52 -	Allowed for 10 6.5m Single Arm poles
Paths	400	m2	54.23	43,381	Say 400m	102.01	40,804		109.15 43,6	Surface preparation, formwork, joints, finishing, unreinforced
Fencing (bollard, post & rail, ringlock)		m	57.83	-		72.00	-		75.00 -	'1200 long timber bollard at 1500 spacing including excavation and backfil
Bollard - Flexipole		Item	86.67	-		151.00	-		159.00 -	1500mm high
Fence - Timber Post & Rail Fence - Steel Post & Rail		m m	118.12 111.97	-		147.66 289.80	-		165.60 - 331.20 -	'1500h '1700h tubular set into concrete
Fence - Reserve (conservation fencing)		m	55.72	-		83.16	-		92.40 -	allowed for 1800mm high galv. chain mesh with posts and barbed wire
Fence - Rural		m	55.72			83.16			92.40 -	allowed for 1800mm high galv. chain
				-			-			mesh with posts and barbed wire
Fence - Chailelink Galvanised (2.4m) Fence - Chailelink PVC Coated (2.4m) Fence - Steel Balustrade Fence - Pool Fencinq		m m	87.36 123.82			124.48 166.22			136.62 - 178.37 -	
Fence - Steel Balustrade Fence - Pool Fencing		m m	572.16 148.58			166.22 752.40 223.08 2,541.00	-		178.37 - 790.02 - 237.60 -	Allowed for galavanised balustrade
Gate - Boom General Gate - Reserve Gate - Heavy Duty		Item	1 981 11			2,541.00	-			Allowed for rural style boom gate
Gate - Heavy Duty		Item Item Item	1.362.01 3.260.69			2.043.36 7.227.00	-		.138.40 - .788.00 -	'5m wide gates allowed '4000wx2400h double leaf gate
Tollets - Iaroe Tollets - small		Item Item	235.256.31 99.055.29	-		242.880.00 121.440.00		258 129	.060.00 - .030.00 -	
Car parking (includes drainage, signage & landscaping)		m2	160.96	-	4 on street bays allowed in Civil madworks	268.86	-		298.30 -	
Sub total			7.81	78,050		9.08	90,804.00		9.87 98,660.0	0
Landscape Furniture (supply & install)										Cox 'PARKLINE' Street Furniture and Park Furniture - Wheelchair Accessible Table Setting with Access for Two (2)
Picnic table	2	Item	7,181.51	14,363	2 off (Added concrete slab below	5,600.00	11,200	e	,200.00 12,4	00 Wheelchairs - Base-Connected Table and Benches. Powder Coated Aluminium Frames with HDPE Plastic Battens in 'Charcoal Grey'
Shelter	1	Item	21,296.89	21,297	1 off	10,000.00	10,000	10	,900.00 10,9	Cox 'PARKLINE' Street Furniture and Park Furniture - Picnic Shelter with powder coated aluminium columns and SolarSpan rof (100mm thick fire- 100 retarded expanded polystyrene core with Colourbond Steel ceiling and high- rio trapezoidal profile roof). Standard Dimensions 4140mm L x 2400mm W x 3000mm H) includes for concrete
Play equipment (combination with softfall & shade) - Large unit		Item	185,748.88	185,749	including softfall	150,000.00	150,000	155	,000.00 155,0	Provisional Sum, will depend largely on
Play equipment (combination with softfall & shade) - Small unit	1	Item	37,145.73		-	75,000.00	-		,000.00 -	Provisional Sum, will depend largely on
, , , , , , , , , , , , , , , , , , , ,			37,143.73			75,000.00		80	,	scone of works

/(A)(1, Dictional) 2001/20-00, Section 2001/20-00, Section 2001/20, Dictional and Cold Report (2, 2, 2, Cold Science Report (2, 2, 2, Cold Science Report (2, 2, 2, 2, 2)) And Advanced Landscape (2, 100) (



Decking & footbridges	25	m2	1.485.83	37,146	Allowance 25m2	1.584.00	39,600	1.676.40	41,910
Seats (Bench)	2	Item	3,714.57	7,429	2 off	1,500.00	3,000	1,600.00	Seat – Cox 'PARKLINE' Street Furniture and Park Furniture – Park Bench. Powder coated aluminium frame with HDPE Plastic Battens in 'Charcoal Grey'.
Bin & dog litter bag dispenser	2	Item	1.480.93	2,962	2 off	4.500.00	9,000	4.725.00	9,450
Bike stand	,	Item	2,242.48	2,242	1 off	2,639.00	2,639	2,772.00	2,772 '6 stand blke rack fixed to concrete
Drinking fountain	1	Item	5,362.43	5,362	1 off	14,773.00	14,773	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN 15,471 WITH DOG BUBBLER type including water and electrical connection
BBQ - small	1	Item	12,381.91	12,382	1 off	14,058.00	14,058	14,679.00	DDA complaant single electric bbq 14,679 (includes for concrete slab and electrical connection)
BBQ - large		Item	18,572.87	-		23,460.00	-	24,095.00	DDA complaant double electric bbq - (includes for concrete slab and electrical connection)
Signage (allowance)	1	Item	2,476.38	2,476	1 off	10,000.00	10,000	12,500.00	12,500 Provisional Sum due to lack of better information
Sub tot	al .		29.14	291,409		26.43	264,270.00	27.83	278,282.00
Total Development Cos	s		114.00	1,139,971		148.62	1,486,194	188.71	1,887,142
Indirect Costs Design . contract administration & construction management - % of overall protect costs Sub tot	12%	. %	13.68	136.796 136,796		17.83	178.343 178,343.28	22.65	226.457 226,457.04
Total Overall Cos	s		127.68	1,276,767		166.45	1,664,537	211.36	2,113,599
Maintenance Costs - 2 Years Turf and gardens (per annum)	2	Item	25.000.00	50,000	Allowance of \$25.000/vr	18.958.33	37,917	20.791.67	41,583
Conservation / parkland cleared (per annum)		m2	0.50	-		1,750.00	-	1,918.00	- Allowed for 5% of total area clearance
Landscape furniture Hardworks	2 2	Item Item	10,000.00 15,000.00	30,000	Allowance of \$10.000/vr Allowance of \$15.000/vr	16.380.00 5.198.02	32,760 10,396	17,980,00 5,709,57	35,960 11,419
Sub tot	al .		10.00	100,000	4	8.11	81,072.70	8.90	88,962.48
Total Unit Rat			137.68	1,376,767		174.56	1,745,610	220.26	2,202,562

Items	Area (m²)/Qty	Unit	Unit Rate	Total Unit Cost (\$2022)	Assumptions & Comments	Unit Rate(\$2023)	Total Unit Cost (\$2023)	Unit	t Rate(\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
											Generally, rates include for
arthworks											Preliminaries and contingency as there is no separate items for these
Cut to fill over 1,000m3 - allowance	500	m3	12.00	5,998	Allow nominal 500m3	15.97	7,985		17.25	8,625	Balanced cut and fill over site 500mm- 1000mm deep
Clearing scrub & trees - allowance		m2	3.69		Nil	4.57	-		4.84	-	
Strip topsoil and respread Sub total		m2	2.34 2.00	5.998		2.83 2.66	7.985.00		3.04 2.88	8.625.00	Allowance of 150mm deep top soil
			2.00	5,996		2.00	7.985.00		2.00	8,025.00	
Garden Beds - Landscaped Surrounds											
Prep of planting area (weed removal & general leveling) Import topsoil and machine spread (150mm thick)	3.000 3.000	m2 m2	3.10 17.35	4,643 26,024	Allow 50% of POS Allow 50% of POS	3.50 22.01	10,500 66,030		5.31 24.84	15,930 74.520	
Soil conditioner (20mm thick blended into top 200mm @ \$60/m3 plus \$3 install)	3,000	m2	5.20	7,801	Allow 50% of POS	7.00	21,000		7.13	21,390	Allowed for a supply of \$100/m3
Supply and lav standard mulch by hand (75mm laver - \$50/m3 + \$3 install)		m2	9.63			10.00			10.49		Allowed for supply of \$56/m3
Supply and lav high grade mulch by hand (75mm laver - \$90/m3 + \$3.50 fine finish install) Supply and install plants (includes allowance for 1 x 100l tree per 40m2) see notes	3.000 3.000	m2 m2	14.77 34.98	22,148 52,468	Allow 50% of POS Allow 50% of POS	15.00 43.13	45,000 129,390		15.27 45.09	135,270	Allowed for supply of \$96/m3
Subbly did listal blants (includes allowance for 1 x 100) tree bet 401127 see notes	5.000		34.30	32,400	Allow 30% of FOS	43.13	125,550		45.09	133,270	This is highly dependent on scope as
											feature retaining walls are expensive
fiscellaneous allowance (kerb edging, feature retaining walls)		m2	6.19	9,286	Allow 50% of POS	6.69	20,070		7.30	21,900	structures. We have only allowed to
3 - 4											escalate the March 2022 rate till toda
	3.000										due to lack of better information
Sub total			81.58	122.371		97.33	291.990.00		104.94	314.820.00	
Water Supply & Reticulation											
rrigation - supply & install materials	3.000	m2	8.02	24.068	Assume 100% of POS	19.00	57,000		20.40	61,200	
											(item) price of pumps and bores varies
				00.400	Allows 20m (50M) bore						according to the volume of water
Bore (shallow - superficial)		Item	80,482.42	80,482	construction	91,000.00	91,000		96,000.00	96,000	required, depth of water table, type of
	1										soil. Excluded allowance for tank
Bore (artesian)		Item	185.728.67	-		190.000.00	-		200.000.00	-	includes for tank
Iron Bacteria Filtration Unit Sub total		Item	99.055.29 34.85	104,550		149.000.00 49.33	148,000.00		156.000.00 52.40	157,200.00	
Sub total			34.03	104,330		49.33	148,000.00		32.40	137,200.00	
Turfina											
Prep of turfing area (weed removal & general leveling)	3,000	m2	3.45	5,168	Allow 50% of POS	3.50	10,500		5.31	15,930	
Import topsoil and spread (150mm thick) Soil conditioner	3,000 3.000	m2 m2	17.35 5.20		Allow 50% of POS Allow 50% of POS	22.01 7.00	66,030 21,000		24.84 7.13	74,520 21,390	'20mm thick
Supply and lay turf (roll on)	3.000	m2	8.23	12.348	Allow 50% of POS	25.00	75,000		25.65	76.950	ZOIIIII CIICK
Supply and install stolons		m2	4.92	-		5.45	- :		5.72	-	
Fertilising	3,000	m2	0.25	371	Allow 50% of POS	0.69	2,070		0.72	2,160	
Soll Wetting Agent Weed spraying	3.000	m2 m2	0.31 1.11	1 661	Allow 50% of POS	0.53	4.140		0.56 1.45	4.350	
Weed stravilld Sub total	3.000	IIIZ	35.58	53,373	Allow 50% of POS	59.58	178,740.00		65.10	195,300.00	
Hardworks (supply & install)											This will be highly dependant on what
											is required; however, we allowed for
Active piece of equipment (general allowance - basketball court, BMX jumps, hit up wall, exercise equipment)		Item	34,669.35	-		50,000.00	-		55,000.00		provisional sum for an outdoor gym
			- 1,1			,			,		station as the current allowance seems
											Inw
											- allowed in this rate for an outdoor
											multifunction court of 510 sqm
		Item	80.482.42			126,400.00			149,600,00		excluding fencing
Hardcourt		item	80,482.42	•		126,400.00	-		149,600.00	-	- Allowed for linemarking
											- Allowed for minimal stormwater
											drainage
											Double practice net enclosure 26620
Cricket practice nets (2 pitches and net)		Item	73,684.94	-		92,200.00	-		96,800.00	-	long x 7800 wide
											Cricket pitch 29120 long x 4200 wide
						17,700.00	_		18,600.00	-	overall including synthetic turf, 100
Cricket pitch (all seasons)		Item	23.871.13	-							thick reinforced concrete slab, 200x20
Cricket pitch (all seasons)		Item	23,871.13	-		17,700.00					
				-		· ·	-		485.208.00		edge thickening Allowed 4 lights per playing field
Lighting - training level for active playing field		Item	371.457.33	-	Considered by street lights	441.600.00	-		485.208.00	<u> </u>	Allowed 4 lights per playing field
ighting - training level for active playing field					Serviced by street lights	· ·			485.208.00 49,870.52	-	Allowed 4 lights per playing field Allowed for 10 6.5m Single Arm poles
Lighting - training level for active playing field	250	Item	371.457.33		Serviced by street lights allow 250m	441.600.00	- - 25,503				Allowed 4 lights per playing field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints,
Lightina - training level for active playing field Lighting - general (allowance)	250	Item Item	371.457.33 61,909.99		÷	441.600.00 47,495.74			49,870.52	- - 27,288	Allowed 4 lights per playing field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing, unreinforced
Lightina - training level for active playing field Lighting - general (allowance) Yaths	250	Item Item	371.457.33 61,909.99		÷	441.600.00 47,495.74			49,870.52	- - 27,288	Allowed 4 lights per playing field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing, unreinforced '1200 long timber bollard at 1500
Lightina - training level for active playing field Lighting - general (allowance) Yaths	250	Item Item m2	371.457.33 61,909.99 54.23	27,113	allow 250m	441.600.00 47,495.74 102.01	25,503 -		49,870.52 109.15	- - 27,288 -	Allowed 4 lights per plaving field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing. unrelinforced '1200 long timber bollard at 1500 spacing including excavation and back
Lighting - training level for active playing field Lighting - general (allowance) Paths Fencing (bollard, post & rail, ringlock)		Item Item m2	371.457.33 61,909.99 54.23	27,113	÷	441.600.00 47,495.74 102.01	25,503		49,870.52 109.15	- - 27,288 -	Allowed 4 lights per playing field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing, unreinforced '1200 long timber bollard at 1500 spacing including excavation and back Allowed for recycled plastic bollard
Lighting - training level for active playing field Lighting - general (allowance) Paths Fencing (bollard, post & rall, ringlock) Bollard - Flexipole	250	Item Item m2	371.457.33 61,909.99 54.23 57.83 86.67	27,113	allow 250m	441,600.00 47,495.74 102.01 72.00	25,503 -		49,870.52 109.15 75.00 159.00	- 27,288 - 7,950	Allowed 6 liohts per playing field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing, unreinforced '1200 long timber bollard at 1500 spacing including excavation and backl Allowed for recycled plastic bollard 1500mm high
Lighting - training level for active playing field Lighting - general (allowance) Paths Fencing (bollard, post & rail, ringlock) Bollard - Flexipole Fence - Timber Post & Rail		Item Item m2 m	371.457.33 61,909.99 54.23 57.83	27,113 - 4,334	allow 250m	441.600.00 47,495.74 102.01 72.00	25,503 - 7,550		49,870.52 109.15 75.00	- 27,288 - 7,950	Allowed 4 lichts per plaving field Allowed for 10 6.5m Single Arm poles Surface preparation, formwork, joints, finishing. unreinforced '1200 long timber bollard at 1500 spacing including excavation and backf Allowed for recycled plastic bollard
Cricket pitch (all seasons) Lighting - training level for active playing field Lighting - general (allowance) Paths Fencing (bollard, post & rail, ringlock) Bollard - Flexipole Fence - Timber Post & Rail Fence - Timber Post & Rail		Item Item m2 m	371.457.33 61,909.99 54.23 57.83 86.67 118.12	27,113 - 4,334	allow 250m	441.600.00 47,495.74 102.01 72.00 151.00	25,503 - 7,550		49,870.52 109.15 75.00 159.00 165.60	- 27,288 - 7,950	Allowed 67 to 6.5m Single Arm poles Surface preparation, formwork, joints, finishina. unreinforced '1200 iong timber bollard at 1500 spacing including excavation and backf Allowed for recycled plastic bollard '1500m high

O/(RI) (Estimate) 2001/31-DIS (Section 1), DEF (Estimate Land Cost Report) (2, 2.5), Cost Billion 2001/4, Cost Bil



	Total Unit Rate		144.65	433,961	252.80	758,403	306.49	919,459
	Sub total		8.00	24,000	6.49	19,463.88	7.12	21,354.02
Hardworks				Not applicable		-		but there is paths that will need maintenance
andscape furniture		2 Item	3,000.00	6,000 Allowance of \$3,000/vr	4.044.44	8,089	4.439.51	8,879 Seems to be unapplicable previously,
Conservation / parkland cleared (per annum)		m2	0.62		525.00	-	575.40	- Allowed for 5% of total area clearance
'urf and gardens (per annum)		2 Item	9,000.00	18,000 Allowance of \$9,000/yr	5,687.50	11,375	6,237.50	12,475
Maintenance Costs - 2 Years								
То	tal Overall Costs		136.65	409,961	246.31	738,940	299.37	898,105
and the construction management of or ore all brotect costs	Sub total	****	14.64	43.924	26.39	79.172.10	32.08	96.225.54
Indirect Costs Design, contract administration & construction management - % of overall project costs		12% %		43,924		79,172		96,226
	COOMERIC COSIS		122.01	555,057	217.72	5,57,00	207.29	
Total Do	velopment Costs		122.01	366.037	219.92	659.768	267.29	801.880
* * * * * * * * * * * * * * * * * * * *	Sub total		16.10	48,298	28.38	85,139.00	30.23	90,697.00 information
Signage (allowance)		Item	2,476.38	-	10,000.00	-	12,500.00	Provisional Sum due to lack of better
BBQ - large		Item	18,572.87	-	23,460.00	-	24,095.00	(includes for concrete slab and electrical connection)
		20011	12,301.91		14,030.00		14,879.00	electrical connection) DDA compliant double electric bbq
BBQ - small		Item	12,381.91	-	14,058.00	_	14,679.00	water and electrical connection DDA complaant single electric bbq - (includes for concrete slab and
Drinking fountain		Item	5,362.43	-	14,773.00	-	15,471.00	DF4-DB ARQUA DRINK FOUNTAIN - WITH DOG BUBBLER type including
Bike stand		1 Item	2,242.48	2,242 1 off	2,639.00	2,639	2,772.00	2,772 '6 stand blke rack fixed to concrete surface
Bin & dog litter bag dispenser		2 1 Item	1.480.93	1,481 1 off	4.500.00	4,500	4.725.00	4 725
Seats (Bench)		Item	3,714.57	7,429 2 off	1,500.00	3,000	1,600.00	Seat – Cox 'PARKLINE' Street Furniture and Park Furniture - Park Bench. Powder coated aluminium frame with HDPE Plastic Battens in 'Charcoal Grey'
Decking & footbridges		m2	1,485.83	-	1,584.00		1,676.40	-
Play equipment (combination with softfall & shade) - Small unit		1 Item	37,145.73	37,146	75,000.00	75,000	80,000.00	80,000 Provisional Sum, will depend largely on scope of works
Play equipment (combination with softfall & shade) - Large unit		Item	185,748.88	-	235,000.00	-	245,000.00	Provisional Sum, will depend largely on scope of works
Shelter		Item	21,296.89	-	10,000.00		10,900.00	powder coated aluminium columns and Solar-Span roof (100mm thick fire- retarded expanded polystyrene core with Colourbond steel celling and high- rib trapezoidal profile roof). Standard Dimensions 4140mm Lx 2400mm W x 3000mm H) includes for concrete
								Cox 'PARKLINE' Street Furniture and Park Furniture - Picnic Shelter with
Picnic table		Item	7,181.51		5,600.00	-	6,200.00	Cox 'PARKLINE' Street Furniture and Park Furniture - Wheelchair Accessible Table Setting with Access for Two (2) Wheelchairs - Base-Connected Table and Benches. Powder Coated Aluminium Frames with HDPE Plastic Battens in 'Charcoal Grey' L
andscape Furniture (supply & install)								
an barking findinges grainage. Signage & langscaping)	Sub total	IIIZ	10.48	31,447	11.02	33,052.50	298.30 11.75	35,237.50
Follets - small Car parking (includes drainage, signage & landscaping)		Item m2	99.055.29 160.96	<u>-</u>	121.440.00 268.86		129.030.00 208.30	
Gate - Heavy Duty Follets - large		Item	235.256.31		242.880.00		258.060.00	- 4000WX240011 double leaf gate
Sate - Reserve		Item Item	1.362.01 3,260.69	-	2.043.36 7,227.00	-	2.138.40 7,788.00	- '5m wide gates allowed - '4000wx2400h double leaf gate
Sate - Boom General		Item	1.981.11	-	2.541.00	-	2.805.00	Allowed for rural style boom gate
ence - Pool Fencing			572.16 148.58	-	752.40 223.08		790.02 237.60	 Allowed for galavanised balustrade
ence - Steel Balustrade		m						
ence - Chainlink Galvanised (2.4m) ence - Chainlink PVC Coated (2.4m) ence - Steel Balustrade		m m	87.36 123.82	-	124.48 166.22		136.62 178.37	

\$1(g)()_1, (since) 2003.00 ()_ reven_1, (2071)__1, (since) revening (since)_1, (since)_2, (since)_3, (since)_4, (since)_4



Wetlands Buffer 1.0ha

Items	Area (m²)/Qty	Unit	Unit Rate	Total Unit Cost (\$2022)	Unit Rate(\$2023)	Total Unit Cost (\$2023)	Unit Rate(\$2024)	Total Unit Cost (\$2024)	Rawlinsons Additional Assumptions & Comments
									Generally, rates include for Preliminaries and contingency as there is no separate items for these
<u>Earthworks</u>									
Import topsoil and spread to contour work into adjoining levels (150mm thick)	2,500	m2	17.35	43,373	19.25	48,125	20.33	50,825	
Sub total			4.34	43,373	4.81	48,125.00	5.08	50,825.00	
Landscaped Surrounds									
Supply and installation of upland tubestock - initial planting	15,000	No	4.77	71,583	7.04	105,600	7.71	115,650	
Supply and installation of upland tubestock - year 1 infill planting	4,500		5.08	22,843	7.4	33,300	8.07		Indexed for 2025
Supply and installation of upland tubestock - year 2 infill planting	2,250		5.29	11,902	7.71	17,348	8.39	18,878	Indexed for 2026
Supply and installation of Ephemeral hydro-zone tubestock - initial planting	40,000	No	4.77	190,889	7.74	309,600	8.48	339,200	
Supply and installation of Ephemeral hydro-zone tubestock - year 1 infill planting	12,000	No	5.08	60,915	8.14	97,680	8.87	106,440	Indexed for 2025
Supply and installation of Ephemeral hydro-zone tubestock - year 2 infill planting	6,000	No	5.29	31,738	8.49	50,940	9.23	55,380	Indexed for 2026
Supply and installation of soil conditioner (terracottem) - initial planting	55,000	No	5.20	286,022	5.46	300,300	5.84	321,200	20 thick conditioner spread evenly over plants
Supply and installation of soil conditioner (terracottem) - year 1	16,500	No	5.53	91,274	5.74	94,710	6.11	100.815	Indexed for 2025
Supply and installation of soil conditioner (terracottem) - year 2	8,250		5.76	47,555	5.98	49,335	6.35		Indexed for 2026
Supply and installation of herbivory protection (plant guards) - initial planting	55,000		2.24	123,362	4.02	221,100	4.08	224,400	
Supply and installation of herbivory protection (plant guards) - year 1	16,500	No	2.39	39,367	4.23	69,795	4.27	70,455	Indexed for 2025
Supply and installation of herbivory protection (plant guards) - year 2	8,250		2.49	20,510	4.4	36,300	4.44		Indexed for 2026
Weed control - year 1	11	days	1,414.54	15,560	2,758.88	30,348	3,223.47	35,458	
Weed control - year 2	11	days	1,473.98	16,214	2,877.00	31,647	3,361.49	36,976	
Sub total			102.97	1,029,733	144.80	1,448,002.18	155.02	1,550,184.56	
Water Supply & Reticulation									
Watering - initial planting	13	day	1,801.77	23,166	2,940.00	37,800	3,293.75	42,348	
Watering - year 1	13	day	1,916.57	24,642	3,090.90	39,740	3,445.23	44,296	
Watering - year 2	13	day	1,997.11	25,677	3,222.29	41,429	3,584.65	46,088	
Sub total			7.35	73,484	11.90	118,969.59	13.27	132,732.39	
Hardworks (supply & install)									
Fence - Reserve (conservation fencing)	300	m	55.72	16,716	83	24,948	94	28,164	allowed for 1800mm high galv. chain mesh with posts and barbed
Gate - Heavy Duty	2	No	3,260.69	6,521	2,043	4,087	2,173	4,345	wire 5m wide gates allowed
Sub total			2.32	23,237	2.90	29,034.72	3.25	32,509.22	
Total Development Costs			116.98	1,169,828	164.41	1,644,131	176.63	1,766,251	
Indirect Corte									
<u>Indirect Costs</u> Design, contract administration & construction management - % of overall project	12%	,		140,379		197,296		211,950	
costs Sub total			14.04	140,379	19.73	197,295.78	21.20	211,950.14	
Total Unit Rate			131.02	1,310,207	184.14	1,841,427	197.82	1,978,201	
<u>Total Unit Kate</u>			131.02	1,310,207	104.14	1,041,427	197.82	1,978,201	



CITY OF KWINANA DCP Cost Update 2024

ANNEXURE E – Reasons For Variance

ROADS

	ROADS					
Code	Description	Cost \$2023	Cost \$2024	Difference	% Difference	Reasons for variance
1.1	DCA 1 Bertram Road Upgrade	\$5,694,203	\$6,615,040	\$920,837	16.17%	Rates updated to December 2024 Below the line costs to road construction compounded
1.2	DCA 1 Wellard Road Upgrade	\$20,571,437	\$23,906,470	\$3,335,033	16.21%	Rates updated to December 2024 Below the line costs to road construction compounded
1.3	DCA 2 Millar Road Upgrade	\$1,280,540	\$1,027,416	-\$253,124	-19.77%	Rates updated to December 2024 Below the line costs to road construction compounded Error in Actual Costs (CH36.77-186) used in 2023 report, now updated
1.4	DCA 2 Mortimer Road upgrade	\$6,496,450	\$7,309,935	\$813,485	12.52%	Rates updated to December 2024 Below the line costs to road construction compounded
1.5	DCA 2 Sunrise Boulevard 15.4m wide***	\$1,798,104	\$1,977,962	\$179,858	10.00%	Rates updated to December 2024 Below the line costs to road construction compounded
1.6	DCA 3 Thomas Road Upgrade	\$9,990,149	\$9,264,930	-\$725,219	-7.26%	Actual costs provided for 2024 update
1.7	DCA 4 Anketell Road Upgrade	\$11,479,353	\$12,934,529	\$1,455,176	12.68%	Rates updated to December 2024 Below the line costs to road construction compounded
1.8	DCA 5 Honeywood Avenue (Cordata Avenue)	\$2,346,020	\$2,680,816	\$334,796	14.27%	Rates updated to December 2024 Below the line costs to road construction compounded
1.9	DCA 5 Lyon Road Upgrade	\$4,343,010	\$4,343,010	\$0	0.00%	Actual costs already provided. No variance.
1.1	DCA 6 Hammond Road	\$1,906,626	\$2,264,460	\$357,834	18.77%	Rates updated to December 2024 Below the line costs to road construction compounded
1.11	DCA 6 Connector Road (Hammond Road Extension)	\$2,006,649	\$2,412,660	\$406,011	20.23%	Rates updated to December 2024 Below the line costs to road construction compounded
1.12	DCA 1 Culvert and Road Crossing over Peel Main Drain in Bertram	\$833,575	\$943,278	\$109,703	13.16%	Rates updated to December 2024 Below the line costs to road construction compounded
	TOTAL ROADS COST (excl. GST)	,	\$75,680,506	\$7,209,559	10.53%	
	GST	\$6,847,095	\$7,568,051	\$720,956	10.53%	
	TOTAL ROADS COST (incl. GST)	\$75,318,042	\$83,248,557	\$7,930,515	10.53%	

DRAINS

Code	Description	Cost \$2023	Cost \$2024	Difference	% Difference	Reasons for variance
2.1	DCA 1 Bertram Road Drainage Basin	\$375,215	\$375,215	\$0	0.00%	Actual costs already provided
2.2	Peel Sub N Drain Upgrade in Wellard	\$1,346,622	\$1,370,353	\$23,731	1.76%	Rates updated to December 2024 Actual costs for part of the works already provided
2.3	Peel Sub N1 Drain Upgrade in Wellard	\$491,082	\$274,274	-\$216,808	-44.15%	Rates updated to December 2024 Actual costs provided for 2024 update that are a lot lower than estimate
2.4	Peel Sub N2 Drain Upgrade in Wellard	\$385,546	\$324,052	-\$61,494	-15.95%	Rates updated to December 2024 Actual costs provided for 2024 update that are lower than estimate
2.5	Peel Sub P Drain in Casuarina	Excl.	Excl.			Excluded
2.6	Peel Sub P1 Drain in Casuarina	\$1,203,452	\$1,260,263	\$56,811	4.72%	Rates updated to December 2024
2.7	Peel Sub P1A Drain in Casuarina	\$670,277	\$701,919	\$31,642	4.72%	Rates updated to December 2024
2.8	Peel Sub O Drain in Casuarina	\$1,523,358	\$1,595,270	\$71,912	4.72%	Rates updated to December 2024
2.9	Piping of the Sub P Drain in Casuarina	\$1,026,298	\$976,922	-\$49,376	-4.81%	Rates updated to December 2024 Updated actual costs provided for 2024 update that are lower than the estimate
2.1	Piping of the Sub P1 Drain in Casuarina	\$440,833	\$480,332	\$39,499	8.96%	Rates updated to December 2024
2.11	Piping of the Sub P1A Drain in Casuarina	\$236,926	\$246,593	\$9,667	4.08%	Rates updated to December 2024
2.12	Piping of the Sub O Drain in Casuarina	\$1,523,358	\$1,595,270	\$71,912	4.72%	Rates updated to December 2024
	TOTAL OPEN DRAINS COST (excl. GST)	\$9,222,967	\$9,200,463	-\$22,504	-0.24%	
	GST	\$922,297	\$920,046	-\$2,251	-0.24%	
	TOTAL OPEN DRAINS COST (incl. GST)	\$10,145,264	\$10,120,509	-\$24,755	-0.24%	

ROAD LANDSCAPING

0.1.	ROAD LANDSCAPING	0	0	D://	0/ D://	2
Code	Description	Cost \$2023	Cost \$2024	Difference	% Difference	Reasons for variance
3.1	Bertram Road, Wellard	\$354,088	\$395,080	\$40,992	11.58%	Rates updated to December 2024
3.2	Wellard Road, Wellard	\$2,804,561	\$3,078,146	\$273,585	9.76%	Rates updated to December 2024
3.3	Millar Road	\$78,157	\$78,157	\$0	0.00%	Actual costs already provided
3.4	Mortimer Road, Wellard	\$304,043	\$339,819	\$35,776	11.77%	Rates updated to December 2024
3.5	Sunrise Boulevard, Wellard – 15.4m wide	\$157,144	\$175,311	\$18,167	11.56%	Rates updated to December 2024
3.6	Sunrise Boulevard, Wellard – 19.4m wide	\$216,571	\$241,623	\$25,052	11.57%	Rates updated to December 2024
3.7	Thomas Road, Wellard	\$1,387,890	\$1,552,103	\$164,213	11.83%	Rates updated to December 2024
3.8	Anketell Road, Wellard	\$929,426	\$1,038,122	\$108,696	11.69%	Rates updated to December 2024
3.9	Hammond Road Extension	\$1,112,818	\$1,242,745	\$129,927	11.68%	Rates updated to December 2024
3.1	Hammond Road Connector Road	\$802,774	\$896,942	\$94,168	11.73%	Rates updated to December 2024
3.11	Lyon Road	\$496,070	\$496,070	\$0	0.00%	Actual costs already provided
3.12	Cordata Ave, Wandi	\$388,037	\$434,896	\$46,859	12.08%	Rates updated to December 2024
	TOTAL ROAD LANDSCAPE COST (excl. GST)		\$9,969,014	\$937,433	10.38%	
	GST	\$903,158	\$996,901	\$93,743	10.38%	
	TOTAL ROAD LANDSCAPE COST (incl. GST)	\$9,934,739	\$10,965,915	\$1,031,176	10.38%	

	PUBLIC OPEN SPACES			m.111		
Code 4.1	Description DCA 3 Casuarina Public Open Space	Cost \$2023	Cost \$2024	Difference	% Difference	Reasons for variance
	District playing field	\$2,971,903	\$3,350,285	\$378,382	13%	Rates updated to December 2024
	Misc. POS (estimated on averaged rate for Local and Neighb	\$17,778,052	\$21,912,225	\$4,134,173	23%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 1 (Neighbourhood Park)	\$7,087,526	\$8,942,840	\$1,855,315	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 2 (Neighbourhood Park)	\$5,153,390	\$6,502,402	\$1,349,012	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 3 (Local Park)	\$238,897	\$289,630	\$50,733	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 4 (Neighbourhood Park)	\$1,761,495	\$2,222,605	\$461,110	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 5 (Local Park)	\$629,475	\$763,151	\$133,676	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture) Rates updated to December 2024
	POS 6 (Local Park)	\$544,028	\$659,559	\$115,531	21%	Rates updated to December 2024 From found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture) Rates updated to December 2024
	POS 7 (Neighbourhood Park)	\$4,252,830	\$5,366,101	\$1,113,271	26%	Fror found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture) Rates updated to December 2024
	POS 8 (Local Park)	\$228,532	\$277,064	\$48,531	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture) Rates updated to December 2024
	POS 9 (Local Park)	\$321,057	\$389,238	\$68,180	21%	Error found in excel sheet linked cells in 2022 and 2023 calculation. Updated to pick up the missed cell (Landscape Furniture)
	POS 10, 11 & 12 (max 2% Restricted POS)	\$2,526,622	\$2,714,290	\$187,668	7%	Rates updated to December 2024
	DCA 3 Casuarina Public Open Space	\$43,493,807	\$53,389,388	\$9,895,581	23%	
4.2	DCA 4 Anketell North Public Open Space					Date wedstad to December 2004
	POS 1 (Neighbourhood Park)	\$947,692	\$1,117,139	\$169,448	18%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture) Area of POS decreased by 357m2
	POS 2 (Local Playing field)	\$4,528,550	\$4,064,034	-\$464,516	-10%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture) Area of POS decreased by 11889m2
	POS 3 (Neighbourhood Park)	\$701,386	\$680,435	-\$20,951	-3%	Actual costs included in 2024 update Maintenance costs included Area of POS decreased by 49m2
	POS 4 (Neighbourhood Park)	\$288,898	\$364,524	\$75,625	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS 5 (Local Park)	\$80,644	\$97,769	\$17,126	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS 6 (Conservation - wetland buffer)	\$704,898	\$790,687	\$85,789	12%	Rates updated to December 2024 Area of POS increased by 169m2
	POS 7 (Conservation - wetland buffer)	\$1,282,186	\$1,439,339	\$157,153	12%	Rates updated to December 2024 Area of POS increased by 313m2
	POS 8 (Neighbourhood Park)	\$938,789	\$2,286,039	\$1,347,250	144%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture) Area of POS increased by 5001m2
	POS 9 (Neighbourhood Park)	\$433,784	\$547,337	\$113,552	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS 10 (Community Site - land only)	\$0	\$0	\$0		
	POS 11 (Neighbourhood Park)	\$220,471	\$278,184	\$57,713	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS 12 (Neighbourhood Park)	\$184,162	\$205,536	\$21,374	12%	Actual costs included in 2024 update Maintenance costs included Area of POS increased by 288m2
	1:5yr drainage	\$746,330	\$801,765	\$55,435	7%	Rates updated to December 2024
	DCA 4 Anketell North Public Open Space	\$11,057,790	\$12,672,787	\$1,614,997	15%	
4.3	DCA 5 Wandi North and South Open Space					
	Wandi Playing field (POS 22B)	\$2,270,159	\$2,270,159	\$0		Actual costs already provided
	POS 22A (Playing Fields)	\$197,073	\$233,510	\$36,437	18%	Rates updated to December 2024
	POS 22C (Neighbourhood Park)	\$2,452,662	\$2,452,662	\$0		Actual costs already provided
	DCA 5 Wandi North and South Open Space	\$4,919,894	\$4,956,331	\$36,437	1%	
4.4	DCA 6 Mandogalup Public Open Space					
	POS1 (Local Park)	\$505,350	\$612,666	\$107,317	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS2 (Neighbourhood Park)	\$1,488,133	\$1,877,684	\$389,551	26%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS3 (Local Park)	\$578,915	\$718,710	\$139,796	24%	Rates updated to December 2024 Error found in exocal sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture) Area of POS increased by 55m2

	POS4 (Local Park)	\$1,598,462	\$2,085,027	\$486,565	30%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture) Area of POS increased by 480m2
	POS5 (Neighbourhood Park)	\$2,053,536	\$658,252	-\$1,395,284	-68%	Actual costs included in 2024 update (provided costs lower than estimate) Maintenance costs included Area of POS increased by 372m2
	POS6 (Playing Fields)	\$1,067,243	\$1,264,563	\$197,321	18%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS7 (Local Park)	\$301,592	\$365,638	\$64,046	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS8 (Local Park)	\$340,018	\$323,012	-\$17,005	-5%	Actual costs included in 2024 update Maintenance costs included Area of POS increased by 285m2
	POS A (Neighbourhood Park)	\$2,126,153	\$1,522,777	-\$603,376	-28%	Actual costs included in 2024 update (provided costs lower than estimate) Maintenance costs added Area of POS increased by 16808m2
	POS B (Local Park)	\$910,084	\$563,211	-\$346,873	-38%	Actual costs included in 2024 update (provided costs lower than estimate) Area of POS increased by 111m2
	POS C (Playing Fields)	\$1,255,851	\$1,488,044	\$232,192	18%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS D (Neighbourhood Park)	\$2,695,222	\$1,454,417	-\$1,240,805	-46%	Actual costs included in 2024 update (provided costs lower than estimate) Maintenance costs added Area of POS increased by 845m2
	POS E (Local Park)	\$487,906	\$591,519	\$103,612	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	POS F (Local Park)	\$1,686,184	\$2,044,264	\$358,080	21%	Rates updated to December 2024 Error found in excel sheet linked cells in 2022 and 2023 calculation; updated to pick up the missed cell (Landscape Furniture)
	DCA 6 Mandogalup Public Open Space	\$17,094,646	\$15,569,784	-\$1,524,862	-9%	
4.5	DCA 2-7 District Sporting Ground (excluding building)	NOT INCLUDED	NOT INCLUDED			
	TOTAL PUBLIC OPEN SPACE COST (excl. GST)		\$86,588,290	\$10,022,152	13%	
	GST	\$7,656,614	\$8,658,829	\$1,002,215	13%	
	TOTAL PUBLIC OPEN SPACE COST (incl. GST)	\$84,222,752	\$95,247,119	\$11,024,367	13%	