

LOCAL PLANNING SCHEME AND RD-CODE VARIATIONS

- R-Code**
- The R-Code of the Traditional Lots is R20.
 - The R-Code of Cottage Lots (325 - 333 only) and Parkside Cottage Lots (363 - 371 only) is R30.
 - The R-Code of Development Lot (322), Cottage Lots (323 & 324 only) and Parkside Cottage Lots (372 - 375 only) is R60.
- Development Lot 322**
- The following provisions apply to Development Lot 322, to allow development of a commercial (convenience store) and/or community based use, if appropriate:
 - Zoning and Land Use**
 - Residential R60.
 - Commercial (Single House - Permitted use).
 - Maximum 200m² Retail GLA.
 - Landscaping**
 - Clause 6.6.5 of the Scheme does not apply.
 - Parking**
 - Clause 7.1 of the Scheme does not apply.
 - On-street parking shall be utilised for any commercial/community based activity on this site.
- Design Elements**
- All dwellings are required to suitably address all adjacent streets and public open space frontages.
 - Outdoor living areas and at least one major opening should, where possible, be located on the northern elevation.
 - Dwellings on Cottage, Parkside Cottage and Development Lots shall be designed to address the primary street or public open space frontage with an entry accessed via this frontage.
 - Dwellings on Parkside Cottage Lots shall have one major opening to an indoor living room addressing the public open space frontage.
 - Dwellings on Cottage, Parkside Cottage and Development Lots shall be designed so that the shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area.
 - Vehicle access to Cottage, Parkside Cottage and Development Lots shall only be permitted from Kemble Lane.
- Setbacks**
- Traditional Lots**
- The following setback requirements shall apply to Traditional Lots (except where noted, all other setbacks shall be in accordance with the RD-Codes):
 - Dwellings (including patios and gazebos) must be located within the building envelope as defined by the setback requirements;
 - Dwellings shall be setback a minimum of 3.0m and maximum of 5.0m from the primary street (no average applies);
 - The maximum primary street dwelling setback may be increased for Lots 242 & 270 at Council's discretion;
 - The garage/carport may be setback a minimum of 2.0m from the primary street where the garage is sited onto the primary street and vehicles are parked parallel to the street. In this case only, the 5.0 m maximum dwelling setback requirement to the primary street may be exceeded.
- Cottage and Development Lots**
- The following setback requirements shall apply to Cottage & Development Lots 322 - 333 (except where noted, all other setbacks shall be in accordance with the RD-Codes):
 - Dwellings (including patios and gazebos) must be located within the building envelope as defined by the setback requirements;
 - Dwellings shall be setback a minimum of 2.0 m and a maximum of 4.0 m from the primary street (no average applies);
 - Single dwelling lot garages/carports shall be setback a minimum of 0.5m from the laneway (no maximum applies);
 - A nil rear dwelling setback from the first floor is permitted from the laneway;
 - A nil setback for the dwelling and garage/carport to the side boundary is permitted where indicated on the DAP;
 - A nil setback for garages/carports/stores is permitted for a maximum of 9m on the non-designated nil side setback boundary, not including secondary street boundaries.
- Parkside Cottage Lots**
- The following setback requirements shall apply to Parkside Cottage Lots 363 - 375 (except where noted, all other setbacks shall be in accordance with the RD-Codes):
 - Dwellings (excluding patios and gazebos) must be located within the building envelope as defined by the setback requirements;
 - Dwellings shall be setback a minimum of 3.0 m and a maximum of 6.0 m from the public open space (no average applies) (Note - The development of an Outdoor Living Area adjacent to the PCS will require a minimum depth of 4m from the front boundary);
 - Garages/carports shall be setback a minimum of 0.5m from the laneway (no maximum applies);
 - A nil rear dwelling setback from the first floor is permitted from the laneway;
 - A nil setback for the dwelling and garage/carport to the side boundary is permitted where indicated on the DAP;
 - A nil setback for garages/carports/stores is permitted for a maximum of 9m on the non-designated zero side setback boundary, not including secondary street boundaries.
- Open Space**
- The following private open space requirements shall apply to Traditional Lots:
 - A minimum of 45% private open space shall be provided.
 - The following private open space requirements shall apply to all Cottage, Parkside Cottage and Development Lots:
 - A minimum of 30% private open space shall be provided.
- Garages**
- All garages/carports for single dwellings shall accommodate two cars parked side by side.
 - Garages for single dwellings shall be located as indicated on the DAP.
- Trees**
- Trees identified on the DAP are located within road reserve and are the property of Council. Trees shall not be removed without the prior written consent of Council.
- Fencing**
- Where fencing is provided by the developer, no modifications are permitted except for maintenance or repair using materials that are consistent with the original construction.
- External Storage Areas**
- The design of a single dwelling on a Parkside Cottage Lot or a Cottage Lot is to include a dedicated external storage area either:
 - As an identified position for the location of an outdoor storage shed separate to the minimum outdoor living area; or
 - As an enclosed storage area (minimum 4m²) to be constructed in conjunction with the dwelling or garage that is accessible from either the exterior of the dwelling or within the garage;
 Unless otherwise agreed by Council.
- Mandated Crossovers**
- Mandated crossovers identified on the plan shall be located to avoid damage to existing verge trees.
- Notification to Prospective Purchasers**
- The Developer is required to give prospective purchasers a complete copy of all the requirements of this Detailed Area Plan prior to Offer and Acceptance being made.
- Other**
- Refer to technical note from Developer for buildings to be constructed adjacent to or on top of existing retaining walls.
 - The requirement to consult with adjoining or other land owners to vary the RD-Codes in accordance with the DAP is not required.
 - Compliance with the provisions of the DAP negates the requirement under the RD-Codes to obtain Planning Approval for lots less than 350m² in area.
 - A variation to the DAP or RD-Codes can be sought by submitting a Planning Application.



LOT TYPE

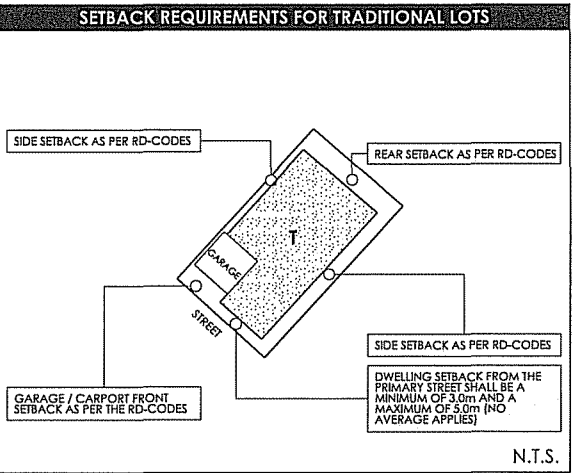
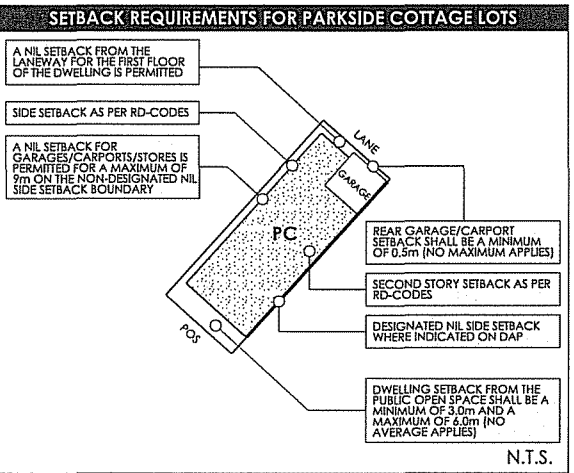
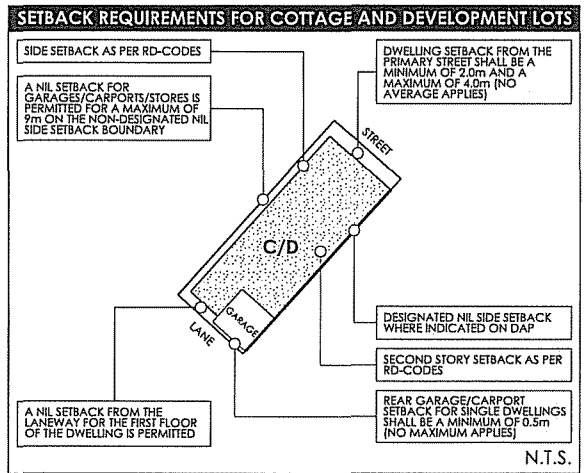
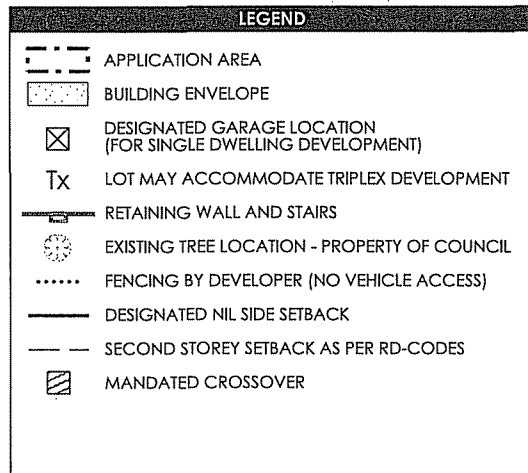
T	TRADITIONAL LOT
C	COTTAGE LOT
PC	PARKSIDE COTTAGE LOT
D	DEVELOPMENT LOT

ENDORSEMENT TABLE

This Detailed Area Plan has been adopted by Council and signed by the Principle Planner

[Signature]
Principle Planner

Date 26/10/2012



Revised Detailed Area Plan
STAGE 23 - THE VILLAGE AT WELLARD
A PEET LIMITED AND DEPARTMENT OF HOUSING JV PROJECT

plan: 02/019/133C
designed: BK
checked: ST
date: 17/10/2012
projection: PCS 94

scale: 1:1500@ A3
0 15 30m

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