

DETAILED AREA PLAN REQUIREMENTS

RD-Code Variations Applicable to all DAP Lots

Design Elements

1. Dwellings are required to suitably address all adjacent street frontages to maximise surveillance. A secondary street elevation shall feature a suitable level of detail including windows in a manner consistent with the primary street elevation.
2. Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or public open space.

Garages

3. All garage/carports shall accommodate 2 cars parked side by side.
4. Garages shall be located as indicated on the DAP.

Mandated Crossovers

5. Mandated crossovers identified on the plan shall be located to avoid damage to existing verge trees.

Setbacks

6. The following setback requirements shall apply to Traditional Lots (except where noted, all other setbacks shall be in accordance with the RD-Codes):
 - (i) Dwellings shall be setback a minimum of 3.0 m and maximum of 5.0 m from the primary street (no average applies);
 - (ii) The maximum 5.0m dwelling setback may be increased for Lots 49, 50, 51, 52, 53 and 54 at Council's discretion;
 - (iii) The garage/carport may be setback a minimum of 2.0m from the primary street where the garage is sided onto the primary street and vehicles are parked parallel to the street, in this case only the 5.0 m maximum building setback requirement to the primary street may be exceeded.

Open Space

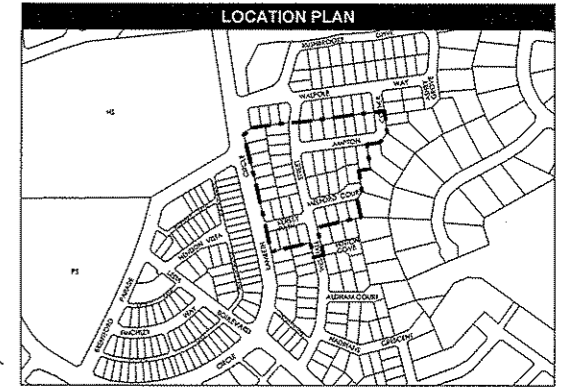
7. Development on Traditional Lots shall provide a minimum of 45% private open space.

Trees

8. Trees identified on the DAP are located within road reserve and are the property of Council. Trees shall not be removed without the prior written consent of Council.

Other

9. The requirement to consult with adjoining or other land owners to vary the RD-Codes in accordance with the DAP is not required.
10. Compliance with the provisions of the DAP negates the requirement under the RD-Codes to obtain planning approval for lots less than 350 m² in area.



LEGEND

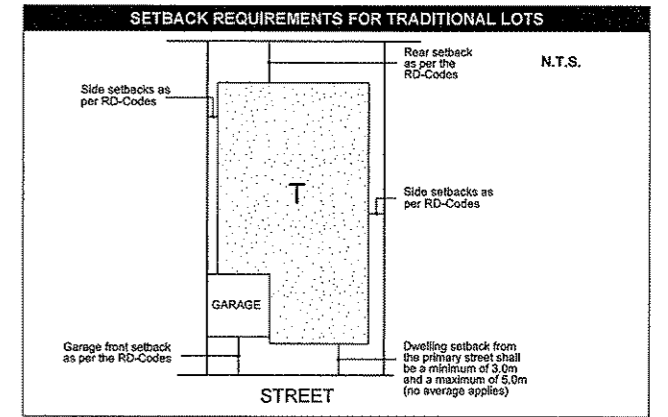
	DESIGNATED GARAGE LOCATION		RETAINING WALL
	PREFERRED GARAGE LOCATION		MANDATED CROSSOVER
	EXISTING TREE LOCATED IN ROAD RESERVE - PROPERTY OF COUNCIL		APPLICATION BOUNDARY

LOT TYPE

T - Traditional Lots

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

[Signature] *[Signature]*
Principal Planner Date



Detailed Area Plan
STAGE 20 - THE VILLAGE AT WELLARD
A PEET LIMITED AND DEPARTMENT OF HOUSING JV PROJECT

plans: 02/019/141C
date: 04/10/2011
projection: PCS 84

designed: EK
checked: BDM
drawn: TB

scale: 1:1000@A3
0 10 20

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