

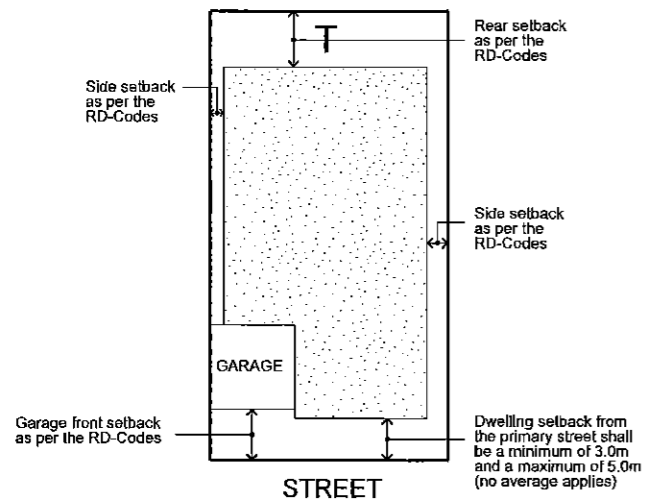
DETAILED AREA PLAN REQUIREMENTS

RD-Code Variations Applicable to all DAP Lots

- Design Elements**
- Dwellings are required to suitably address all adjacent street frontages to maximise surveillance. A secondary street elevation shall feature a suitable level of detail including windows in a manner consistent with the primary street elevation.
 - Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or public open space.
- Garages**
- All garage/carports shall accommodate 2 cars parked side by side.
 - Garages shall be located as indicated on the DAP. Where a 'Preferred' garage location has been identified, landowners should ensure garages and associated driveways and crossovers do not cause damage to identified trees.
- Mandated Crossovers**
- Mandated crossovers identified on the Plan shall be constructed by Landowners to avoid damage to existing verge trees.
- Setbacks**
- The following setback requirements shall apply to Traditional Lots (except where noted, all other setbacks shall be in accordance with the RD-Codes):
 - Dwellings shall be setback a minimum of 3.0 m and maximum of 5.0 m from the primary street (no average applies);
 - The garage/carport may be setback a minimum of 2.0m from the primary street where the garage is sided onto the primary street and vehicles are parked parallel to the street, in this case only the 5.0 m maximum building setback requirement to the primary street may be exceeded.
- Open Space**
- A minimum of 45% private open space shall be provided.
- Trees**
- Trees identified on the DAP are located within road reserve and are the property of Council. Trees shall not be removed without the prior written consent of Council.
- Other**
- The requirement to consult with adjoining or other land owners to vary the RD-Codes in accordance with the DAP is not required.
 - Compliance with the provisions of the DAP negates the requirement under the RD-Codes to obtain planning approval for lots less than 350 m² in area.

SETBACK REQUIREMENTS FOR TRADITIONAL LOTS

N.T.S.



LEGEND

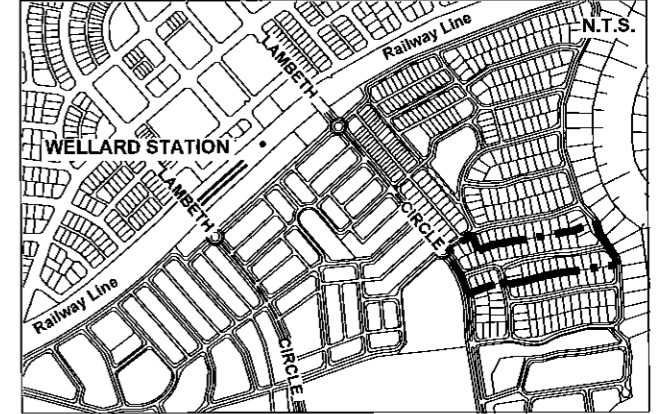
- DESIGNATED GARAGE LOCATION
- PREFERRED GARAGE LOCATION
- EXISTING TREE LOCATED IN ROAD RESERVE - PROPERTY OF COUNCIL
- RETAINING WALL
- APPLICATION BOUNDARY
- MANDATED CROSSOVER

LOT TYPE
T - Traditional Lots

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

8/11/10
Principal Planner Date

LOCATION PLAN



Detailed Area Plan
STAGE 16 - THE VILLAGE AT WELLARD
A PEET LIMITED & DEPARTMENT OF HOUSING JV PROJECT

plan: 02/019/111E	designed: JAH	scale: 1:2000@A4
date: 28/10/2010	checked: ST	0 20 40
projection: PCG 94	drawn: MQ	

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