

VARIATIONS FOR ALL REAR LANEWAY LOTS

RESIDENTIAL DESIGN CODE VARIATION TABLE
 The following variations to the Residential Design Codes constitute Acceptable Development for all lots included within this Detailed Area Plan.

Any development which complies with the requirements of this Detailed Area Plan does not require a separate planning approval or consultation with neighbours or other landowners. Except as provided for by this Detailed Area Plan/R-Codes Variation Table, all other R-Codes requirements apply.

GENERAL PROVISIONS	
Town Planning Scheme No. 2	Residential
R Coding	R40
BUILDING SETBACKS	
Primary Street Setback	2m minimum, 4m maximum [no average]
Secondary Street Setback	1m minimum
Laneway Setback	0.5m minimum [no maximum]
Side Setbacks	Nil permitted to a maximum height of 3.6m [no average] for a maximum total length determined by the required front and rear setbacks.
Duplex Lots (741, 758 and 794)	Where a dwelling on Lots 741, 758 and 794 does not have a frontage to Lambeth Circle or Walden Street, the Primary Street Setbacks (2m minimum, 4m maximum) will apply to the lot frontage of Beauchamp Loop or Blackmore Way.

OPEN SPACE	
Minimum total open space [%] of Site	30%
Minimum outdoor living area	21m ²
Minimum outdoor living area length and width dimension	3.5m

GARAGES/CARPORT
 Laneway lots must obtain vehicle access via the Laneway except for Duplex Lots. Duplex Lots 741, 758 and 794 may obtain vehicular access from Beauchamp Loop or Blackmore Way, for the dwelling which does not have laneway access.

EXTERNAL STORAGE AREAS
 The design of a single dwelling is to include a dedicated external storage area either:
 (i) As an identified position for the erection of an outdoor storage shed separate to the minimum outdoor living area; or
 (ii) As an enclosed storage area (minimum 4m²) to be constructed in conjunction with the dwelling or garage that is accessible from either the exterior of the dwelling or within the garage;
 Unless otherwise agreed by Council.

Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or public open space.

FENCING
 Primary Street and front setback area fencing is to be constructed of painted rendered masonry, brick or limestone piers no higher than 1.2m and in-filled with solid painted rendered masonry, brick, limestone or visually permeable panels to a maximum height of 1.0m. Duplex lots may have 1.8m high secondary street compliant fence to a drying court for the length of the drying court only.

Laneway and Secondary Street Fencing is to be 1.8m high visually permeable fencing or a maximum height of 1.8m with the lower 1.5m portion of the fence being constructed of painted rendered masonry or a proprietary brand colorbond metal fencing and the upper 0.3m portion being constructed of visually permeable fencing.

Side boundary fencing located between the front setback area and building line is to be of a height no greater than 1.2m.

RETAINING WALLS
 Any retaining walls that are within public view are to match the materials of other retaining walls with the Village of Wellard Estate.

DESIGN ELEMENTS
 The Primary Street elevation is to include one architectural feature such as a masonry projection or feature wall, portico, gable end or similar.
 The Primary Street Elevation is to contain a minimum of two materials or colours.

LEGEND

- Lots subject to this DAP
- Setbacks
- Primary Street Orientation
- Secondary Street Orientation
- Estate Fencing by Developer
- No Vehicle Access
- Lot may accommodate duplex development

ENDORSEMENT TABLE

This Detailed Area Plan has been approved by Council under Clause 6.17.6 of Town Planning Scheme No. 2:

[Signature] 31/10/2012
 Principal Planner Date
 Town of Kwinana

Detailed Area Plan - Stage 11 (Sheet 1 of 2)
 FRINTON LANE, WELLARD
 A PEET LIMITED AND DEPARTMENT OF HOUSING JV PROJECT

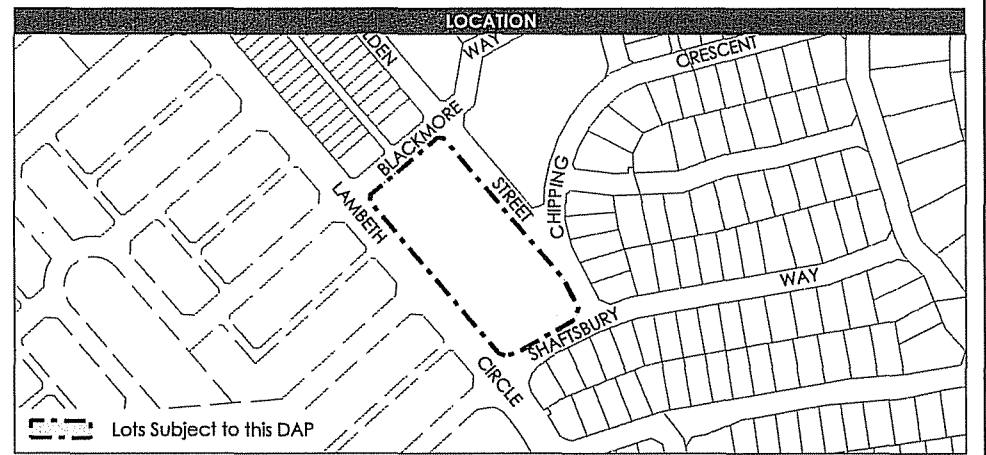
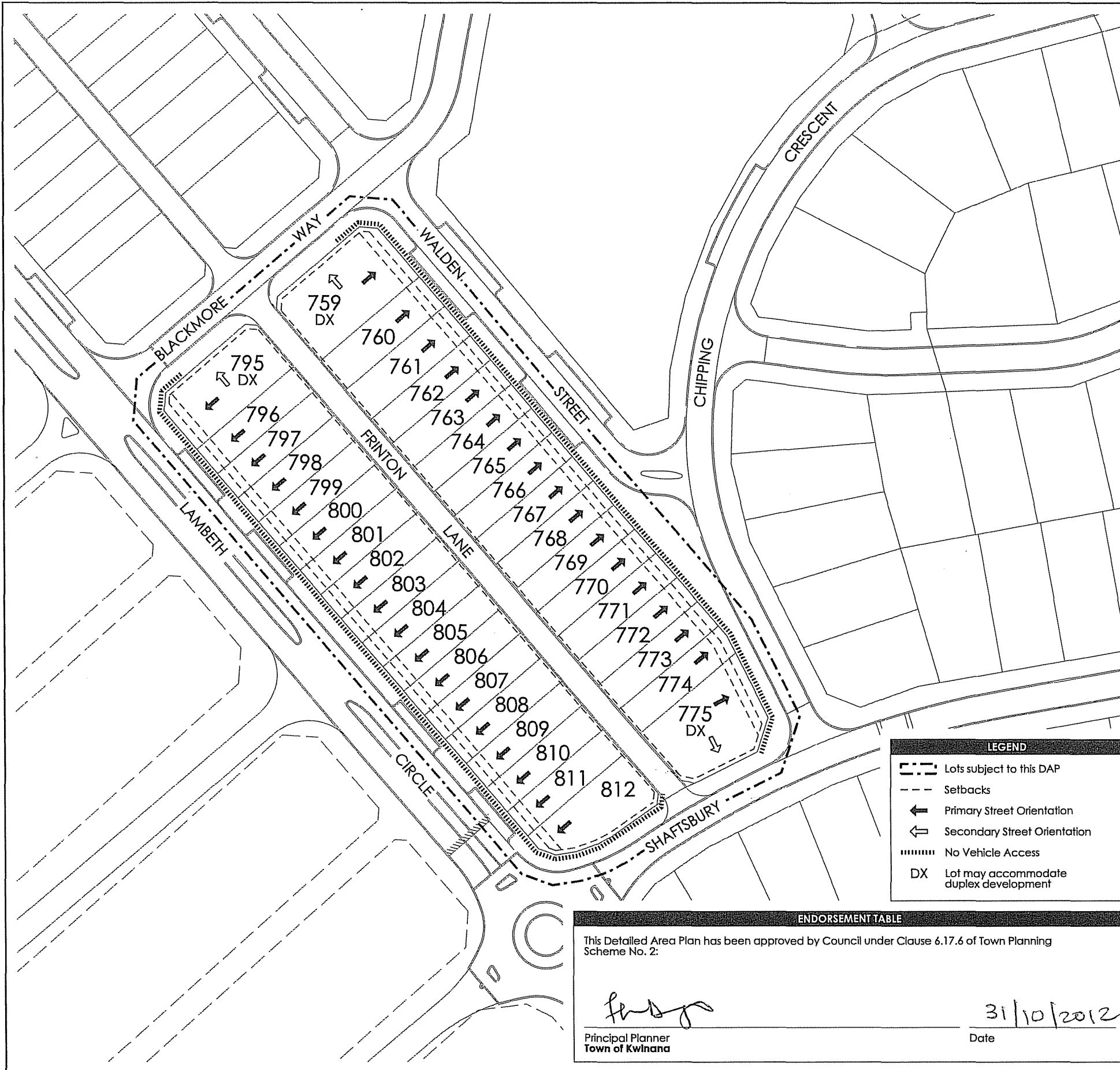
Taylor Burrell Barnett Town Planning & Design
 187 Roberts Road Subiaco Western Australia 6008
 p: (08) 9382 2911 f: (08) 9382 4586 e: admin@tbbplanning.com.au

plan: 02/2019/1250
 date: 16/10/2012
 projection: PCS 94

designed: JB
 checked: BDM
 drawn: NM

scale: 1:1000 @ A3 | 1:500 @ A1
 0 10 20m

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Side Setbacks	Nil permitted to a maximum height of 3.6m [no average] for a maximum total length determined by the required front and rear setbacks.
Duplex Lots (759, 775 and 795)	Where a dwelling on Lots 759, 775 and 795 does not have a frontage to Lambeth Circle, Walden Street or Chipping Crescent, the Primary Street Setbacks (2m minimum, 4m maximum) will apply to the lot frontage of Blackmore Way or Shaftsbury Way.

OPEN SPACE	
Minimum total open space [%] of Site	30%
Minimum outdoor living area	21m ²
Minimum outdoor living area length and width dimension	3.5m

GARAGES/CARPORT
Laneway lots must obtain vehicle access via the Laneway except for Duplex Lots. Duplex Lots 759, 775 and 795 may obtain vehicular access from Blackmore Way or Shaftsbury Way, for the dwelling which does not have laneway access.

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Unless otherwise agreed by Council.
Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or public open space.

FENCING
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RETAINING WALLS
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DESIGN ELEMENTS
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LEGEND

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ENDORSEMENT TABLE

This Detailed Area Plan has been approved by Council under Clause 6.17.6 of Town Planning Scheme No. 2:

[Signature] 31/10/2012
Principal Planner Date
Town of Kwinana

plan: 02/019/146C
date: 18/10/2012
projection: FCG 94
designed: JH
checked: BDM
drawn: NM
scale: 1:1000@A3 | 1:500@A1
0 10 20m
Taylor Burrell Barnett Town Planning & Design
187 Roberts Road Subiaco Western Australia 6008
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