

## DETAILED AREA PLAN REQUIREMENTS

### RD-Coding

- The Residential Density Code which applies to the subject 'Traditional' lots is R20.

### RD-Code Variations Applicable to all DAP Lots

#### Design Elements

- At least one major opening to an indoor living area is to be installed on the northern elevation of a dwelling to maximise solar orientation.
- Dwellings are required to suitably address all adjacent street frontages to maximise surveillance. A secondary street elevation shall feature a suitable level of detail including windows in a manner consistent with the primary street elevation.
- Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or public space.

#### Garages

- All garage/carports shall accommodate 2 cars parked side by side.

#### Setbacks

- The following setback requirements shall apply to Traditional Lots (except where noted, all other setbacks shall be in accordance with the RD-Codes):
  - Dwellings shall be setback a minimum of 3.0 m and maximum of 5.0 m from the primary street (no average applies);
  - The garage/carport may be setback a minimum of 2.0m from the primary street where the garage is sided onto the primary street and vehicles are parked parallel to the street, in this case only the 5.0 m maximum building setback requirement to the primary street may be exceeded.

#### Open Space

- A minimum of 45% private open space shall be provided;

#### Trees

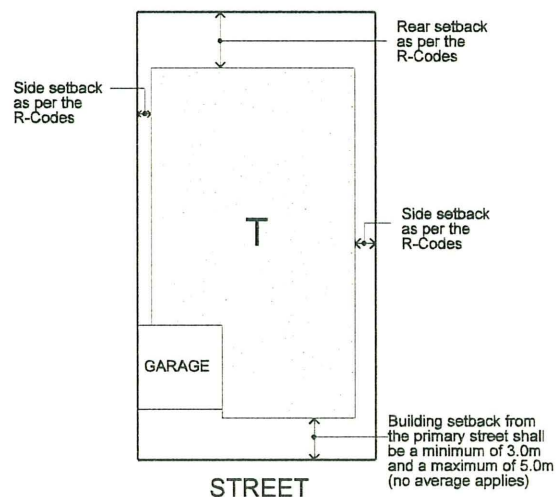
- Trees identified on the DAP are located within road reserve and are the property of Council. Trees shall not be removed without the prior written consent of Council.

#### Other

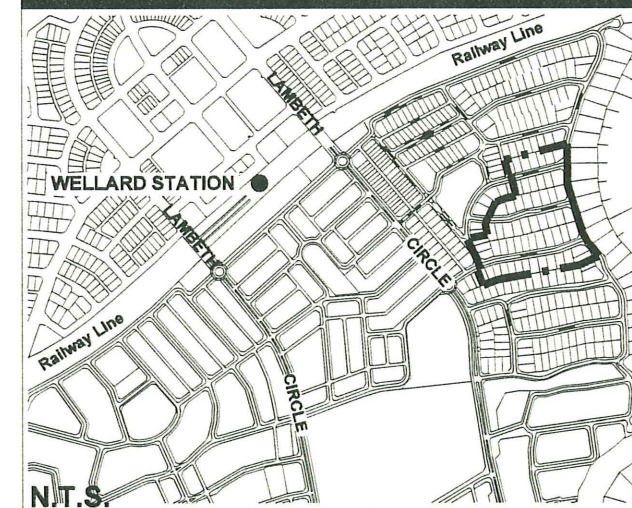
- The requirement to consult with adjoining or other land owners to vary the RD-Codes in accordance with the DAP is not required.
- Compliance with the provisions of the DAP negates the requirement under the RD-Codes to obtain planning approval for lots less than 350 m<sup>2</sup> in area.

## SETBACK REQUIREMENTS FOR TRADITIONAL LOTS

N.T.S.



## LOCATION PLAN



## LEGEND

	DESIGNATED GARAGE LOCATION		EXISTING TREE LOCATED IN ROAD RESERVE - PROPERTY OF COUNCIL
	PREFERRED GARAGE LOCATION		RETAINING WALL
	INDICATIVE BUILDING ENVELOPE		APPLICATION BOUNDARY

### LOT TYPE

T - Traditional Lots

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

Principal Planner

7/9/09  
Date

# Detailed Area Plan

STAGE 10 - THE VILLAGE AT WELLARD

A PEET LIMITED & DEPARTMENT OF HOUSING JV PROJECT

plan:  
02/019/107A  
date:  
04/09/2009  
projection:  
PCG 94

designed:  
JAH  
checked:  
BDM  
drawn:  
MQ

scale:  
1:2000@A4

0 20 40

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