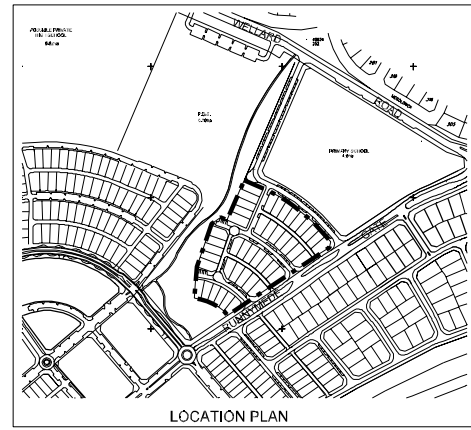


DETAILED AREA PLAN R-CODE VARIATIONS

The District Town Planning Scheme and R-Codes are varied in the following manner ;

1. The dwellings (including patios and gazebos) must be within the building envelopes ;
2. The requirements of the R-Codes are varied as shown on the Detailed Area Plan ;
3. The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters ;
4. The requirements to consult with adjoining or other land owners to achieve a variation of the R-Codes is not required ;
5. A minimum open space site coverage of 30% is applicable for Laneway Lots and POS Lots ;
6. Development shall be designed so that its shadow cast at midday 21 June, onto any adjoining property does not exceed 40% of the adjoining property's site area ;

7. All dwellings are to be constructed with a store area (minimum 4m²) under the main roof of the residence or garage and accessible from either the exterior or within the garage area ;
8. Sheds and outbuildings that do not match the construction materials and colours of the dwelling are not to be visible from the street or open space ;
9. Council has discretion to vary the location of garages on parkland lots where the relocation will ensure that the outdoor living area is located in accordance with this plan ;
10. A 2m solar setback shall be applied to walls with major openings on the northern side of the cottage lots.
11. Council has discretion to allow the 20m² Outdoor Living Area to be located within the front street setback area with consideration being taken of the proposed building and fencing design.



THE FOLLOWING PROVISIONS SHALL APPLY TO ALL 'PARKLAND LOTS'

MINIMUM 20m² OUTDOOR LIVING AREA BEYOND SETBACK LINE (FOR ACTIVITY ALONG POS EDGE)

POS BOUNDARY SETBACK : 3m MINIMUM, 4m AVERAGE

2.5m MINIMUM 4m AVERAGE FRONT SETBACK

GARAGE SETBACK AS PER R-CODES

1.5m MINIMUM SIDE SETBACK FOR ALL CORNER LOTS

1.5m MINIMUM SECOND STOREY SETBACK

THE FOLLOWING PROVISIONS SHALL APPLY TO ALL 'COTTAGE LOTS'

3m MINIMUM 4m AVERAGE FRONT SETBACK

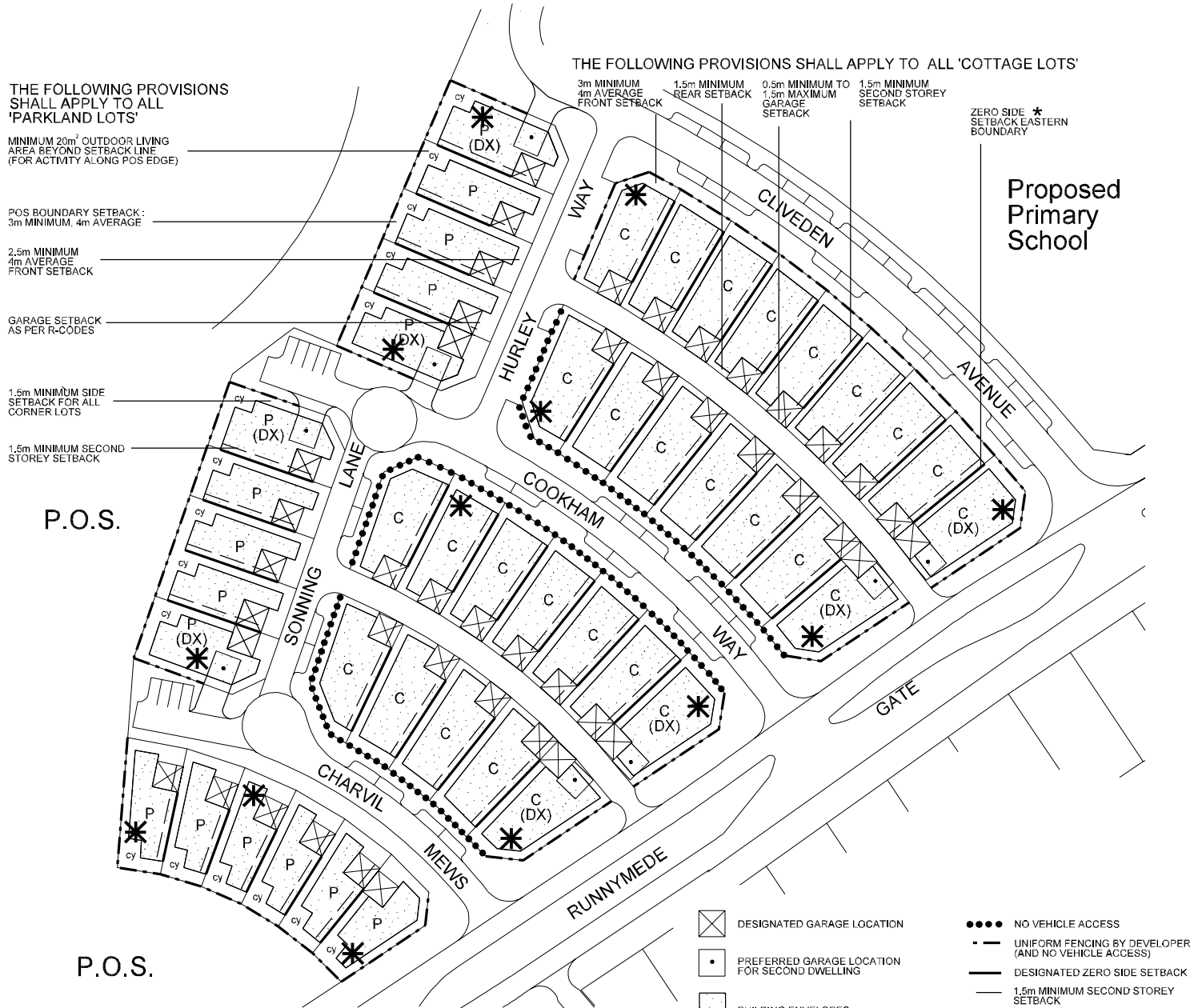
1.5m MINIMUM REAR SETBACK

0.5m MINIMUM TO 1.5m MAXIMUM GARAGE SETBACK

1.5m MINIMUM SECOND STOREY SETBACK

ZERO SIDE SETBACK EASTERN BOUNDARY

Proposed Primary School



P.O.S.

P.O.S.

- DESIGNATED GARAGE LOCATION
- PREFERRED GARAGE LOCATION FOR SECOND DWELLING
- BUILDING ENVELOPES
- COURTYARD
- REFER TO TECHNICAL NOTE FROM DEVELOPER FOR BUILDINGS TO BE CONSTRUCTED ADJACENT OR ON TOP OF EXISTING RETAINING WALLS
- NO VEHICLE ACCESS
- UNIFORM FENCING BY DEVELOPER (AND NO VEHICLE ACCESS)
- DESIGNATED ZERO SIDE SETBACK
- 1.5m MINIMUM SECOND STOREY SETBACK
- LANDMARK

LOT TYPES

- C - Cottage Lots
- P - Parkland Lots
- DX - Duplex Lots

This Detailed Area Plan has been adopted by Council and signed by the Principal Planner.

Principal Planner

Date

**DETAILED AREA PLAN
STAGE 1(West) - THE VILLAGE AT WELLARD**



DATE : 2/02/2005
PLAN NO. 02/019/29D
SCALE 1:1000 @ A3

