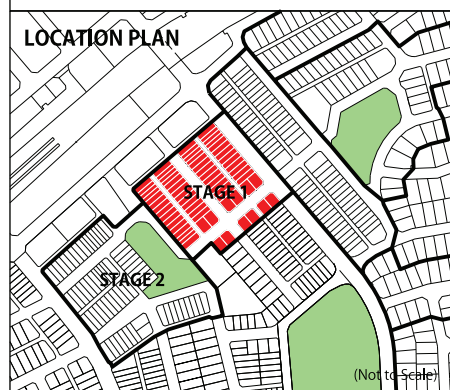




LEGEND:

- - - - - LDP Boundary
- Retaining Wall
- ➔ Primary Dwelling Orientation
- ➔ Secondary Dwelling Orientation
- Neighbourhood Centre R80
- Residential R40
- Public Open Space
- Street Lighting
- Recommended Garage Location
- Designated Garage Location
- Footpaths
- P:17.56
G:17.58 ● Proposed Lot Pad & Proposed Garage Level

LOCATION PLAN



ENDORSEMENT OF REGISTERED TOWN PLANNER

This Local Development Plan has been adopted by Council and signed by the Principal Planner.

SIGNATURE:

DATE: 17/03/2015

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LOCAL DEVELOPMENT PLAN - VILLAGE CENTRE SOUTH STAGE 1

The Village at Wellard

Page 1 of 2

for: A PEET Limited and Department of Housing Joint Venture

PEET



Scale 1:1000 @ A3

COMPILED: DPS	DRAWN BY: JP
DATE: 16/09/2013	REVISED: 09/03/2015
GRID: PCG 94	DATUM: AHD
DRAWING NUMBER: PACWE-4-007N	JOB CODE: PACWEDAP
FILE ID: M:\PACWE\BASE\DAPI\PACWE-4-007N.dgn	

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PROVISION – VILLAGE CENTRE SOUTH STAGE 1

The provisions addressed below and on the adjacent plan relate to Village Centre South Stage 1 of The Village at Wellard, Wellard.

The requirements of the Residential Design Codes apply unless otherwise provided for below.

The following standard represents variations to the Residential Design Codes and constitutes 'Deemed-to-comply' requirements pursuant to the Codes.

1. R-CODE VARIATIONS

a) Minimum Open Space:	
R80	25%
R40	30%
b) Minimum Outdoor Living:	16m ²

2. SETBACK PROVISIONS

	Minimum	Maximum
a) Primary Street R40	2.0m	4.0m
b) Garage Setbacks Primary Street	3.0m	-
Laneway	0.5m	-
c) Garage Side Setbacks	Nil	-
d) Laneway setback Ground	0.5m	-
Floor	Nil	-
First Floor		
e) Boundary Walls (Parapets)	Lots boundary walls are permitted to both side boundaries for a maximum length prescribed by the front and rear setback requirements (with the exception of side street boundaries).	

3. BUILDING ORIENTATION

- The design of dwellings shall include an articulated front elevation in the direction of the 'Primary Dwelling Orientation' arrow shown on the Local Development Plan. The front elevation shall consist of at least one major opening to a habitable room overlooking the Primary Dwelling Orientation.
- The design of dwellings on applicable lots shall include a side elevation, which has at least one major opening facing the direction of the 'Secondary Dwelling Orientation' arrow shown on the Local Development Plan.
- Where possible, dwellings are to be designed to take advantage of northern solar orientation.
- A 4m² store room shall be provided for all single dwellings in accordance with the requirements of the Residential Design Codes pursuant to Part 5.4.5 Clause C5.1.

4. BUILT FORM ARTICULATION

- To promote variety and quality of built form articulation four of the following seven front elevation features shall be provided for all lots with a 5.5m frontage in the primary street elevation:
 - Pitched Roof;
 - Entry portico or a verandah;
 - Accent colours and/or feature lighting;
 - Window shade awnings;
 - A window which is a major opening as defined by the R-Codes;
 - Where a bedroom or study is located at the front of the dwelling then a feature panel is to be provided to the gable end of the dwelling by including:
 - a secondary/alternative feature colour panel; or
 - a secondary/alternative building material panel such as brick, weatherboard, cedar lining, minor, or similar material to the satisfaction of the City of Kwinana.
- Where the internal and outdoor living areas are located at the front of the dwelling then a feature panel is to be provided to the gable end of the dwelling by:
 - glazing the gable end of the dwelling; or
 - providing a secondary/alternative building material panel such as brick, weatherboard, cedar lining, minor or similar such material to the satisfaction of the City of Kwinana or a secondary/alternative feature colour panel. A secondary colour/building material panel is only permitted provided 80% or more of the elevation (below the gable end) is glazed.

Details of the above shall be provided within the building permit submission.

5. VEHICULAR ACCESS and GARAGES/CARPORTS

- Designated and Recommended garage locations apply to lots identified on the Local Development Plan; referencing the side of the lot to which the garage must be located but do not prescribe boundary walls.
- All garages are to have doors that enclose them.
- On lots identifying a Recommended Garage Location, an alternative garage location may be approved by the City of Kwinana subject to the design meeting solar orientation principles, design guidelines and any other statutory requirements to the satisfaction of the City.
- All lots with access to rear laneways shall obtain vehicular access from the laneway only.

6. UNIFORM ESTATE BOUNDARY FENCING

- Any Estate provided fencing/retaining on private lots shall not be modified without written approval from the City and shall be maintained as visually permeable by landowners where applicable.

7. INCIDENTAL DEVELOPMENT

- An Outdoor living area with a minimum of 16m², a minimum dimension of 4m and directly accessed from a living area is to be provided in accordance with the Residential Design Codes located to where possible, take advantage of solar orientation.
- Outdoor living areas are permitted to be located within the front setback at the discretion of the City.

- Clotheslines, rainwater tanks, satellite dishes are not permitted within the front setback area.

8. NOTIFICATION TO PROSPECTIVE PURCHASES


- The Developer is required to give prospective purchases a complete copy of all the requirements of this Local Development Plan prior to Offer and Acceptance being made.

9. NOISE REQUIREMENTS

Building Element	Requirements
a) Walls	<ul style="list-style-type: none"> All walls are to be of double brick cavity construction, minimum 90mm thick brick / 50mm cavity/ 90mm thick brick. <ul style="list-style-type: none"> Each brick must be laid with all joints filled solid with mortar; Any alternatives are to satisfy R_w 50 airborne acoustic rating. For the wall on the zero lot boundary: <ul style="list-style-type: none"> Cavity is to be kept clean so that the bricklayer is to work neatly and minimise mortar droppings and the like. Any mortar that drops onto the anti-vibration ties is to be cleaned off immediately; The inside leaf of brickwork is to be finished with 13mm thick cement render (i.e. not direct stick plasterboard); After completing construction of the wall and assuming the neighbouring lot is vacant, the wall is to be flush so that any mortar does not protrude the line of the brickwork.
b) Windows	<ul style="list-style-type: none"> Windows to be minimum 4mm thick glass in high quality residential grade frame achieving minimum R_w + C_r 23 acoustic rating
c) Roof/Ceiling	<ul style="list-style-type: none"> Ceilings to be minimum 10mm thick plasterboard with R₂₀ insulation laid above, between the ceiling joists. Alternative roof/ceiling construction to achieve minimum R_w 42. Eaves are to be enclosed with minimum 4mm thick fibre cement sheeting.
d) Mechanical	<ul style="list-style-type: none"> Any fans, air-conditioning or the like must be selected on the basis of quiet operation; Air-conditioning units are to be: <ul style="list-style-type: none"> Roof mounted on appropriate anti-vibration mounts and shall be located as central as practicable or the lot to maximise distance and line of site to adjoining dwellings; or Unit to be no more than 1.5m above ground level and located so that there is a dividing fence between dwellings (e.g. within alcove or rear courtyard).

The requirement to consult with adjoining or other land owners to vary the Residential Design Codes in accordance with the Local Development Plan is not required except where variations to the provisions of the Local Development Plan are sought.

Planning Approval is not required, but a Building Permit is required, for the construction of a dwelling on any lot within the area covered by the Local Development Plan (including lots with a land area less than 260m²) except where variations to the provisions of the Local Development Plan are sought.



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LOCAL DEVELOPMENT PLAN TEXT - VILLAGE CENTRE SOUTH STAGE 1

The Village at Wellard
Page 2 of 2

for: A PEET Limited and Department of Housing Joint Venture

PEET

NORTH		Scale 1:1000 @ A3	
			
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