

Local Development Plan Provisions

The following design requirements shall apply in conjunction with the requirements annotated on the plan. The provisions in the Local Development Plan (LDP) comprise additional Residential Design Code "Acceptable Development" provisions.

Unless varied in the LDP, a proposal shall be designed and assessed in accordance with the Residential Design Codes, City of Kwinana Town Planning Scheme No. 2 and/or local planning policies.

1. OPEN SPACE PROVISION	
Minimum open space – R20	40%

For the purposes of determining open space as defined in the R-Codes, site coverage includes the floor area of all buildings, alfresco and permanent roof covered patio areas and outbuildings. Therefore, maximum site coverage for all lots may be increased to 60%.

2. SETBACK PROVISIONS		Minimum
a) Dwelling		
- Primary Street R20		Min. 3.0m Max. 5.0m
b) Dwelling		
- Secondary Street R20		1.5m
c) Dwelling		
- Side and rear boundaries		1.2m to habitable rooms
d) Boundary Walls (parapets)		Refer to point 5

*Irregular shaped lots (Lots 14, 15 and 3) are excluded from the maximum setback requirement.

General Provisions

Street Trees

- In accordance with the City's Policy, a minimum of one street tree per lot is required. Street trees will be provided by the developer within the road verge, and maintained for a minimum of two years until established. Street trees are to be generally located as shown on this LDP, subject to detailed landscape design. Refer to approved landscape plans (available from the city) for detail. Street trees are not to be relocated or removed by landowners.

Garages

- Garages are not to be forward of the dwelling alignment. Garages may be aligned with the dwelling provided they do not exceed the dwelling setback line.
- For all lots where a footpath adjoins the boundary, the garage must be setback a minimum 4.5m from that boundary.
- Garages are to be located as designated on this LDP for Lots 2, 15 and 16.
- All garages are to have doors to enclose them.
- Where lots have a frontage of 12 metres or less, garages may exceed 50% of the primary lot frontage to a maximum of 60% of the primary lot frontage.
- Where garages exceed 50% of the primary lot frontage for lots with frontages of 12 metres or less, they shall comply with the following:
 - A clear indication of the dwelling entrance.
 - The dwelling entrance shall be the dominant feature of the facade, and shall include a projecting portico or veranda with a minimum depth of 1.5 metres.
- For any single storey dwelling on a lot with a frontage less than 10 metres in width and where vehicle access is gained solely from the primary street, only a single width garage/carport (including tandem) is permitted.
- Double garages are permitted on lots less than 10m wide where dwellings are two storeys and where major openings to habitable rooms are provided on the primary street frontage.

Fencing

- Front fences within the primary street setback (if constructed) are to be visually permeable above 0.9m to a maximum height of 1.2m above natural ground level.
- For secondary street boundaries, fencing shall be visually permeable above 1200mm behind the primary street setback, for a minimum length of 3m behind the truncation with a habitable room addressing the street.

Building Form and Orientation

- For all lots, a nil side setback is permissible to one side boundary behind the primary street setback line and to a minimum of 4 metres from the rear boundary, unless this boundary is to a secondary street.
- For corner lots, where the major dwelling entry (front door) is oriented toward the secondary street, secondary street setbacks still apply. Primary street setbacks apply to the other street, as designated on this LDP.

Dwelling Façade Treatment

All dwellings to provide an appropriate, high quality design interface with the surrounding streetscape, through the use of at least three of the following architectural design features:

- Articulation in dwelling façade (ie. varied walled setbacks);
- A minimum of two building materials, colours and/or finishes (eg. render, brick, cladding);
- Major habitable room openings incorporating large windows to provide surveillance;
- Roof forms that incorporate gables;
- A balcony, portico, or verandah; or
- A built-in planter box.

Noise Management

- For those lots potentially affected by noise emanating from the Kwinana Freeway and the Millar Road rail line, dwellings are to be constructed to comply with the relevant 'Deemed to Comply Noise Insulation Package' specified on this LDP, see Table 1. Noise Insulation Package requirements are set out under the Implementation Guidelines for State Planning Policy 5.4 (SPP5.4). Please note Lots 1-8 are primarily influenced by rail noise and the noise corridor for these lots is the rail.

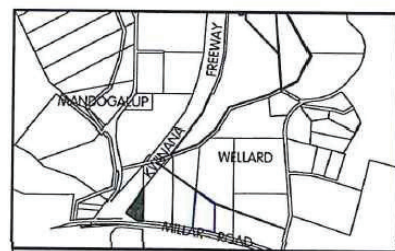
- The following Noise Insulation Packages apply:

Table 1 Quiet house design requirements

Applicable Lot No.	Noise Insulation Package	
	Ground Floor	Upper Floor
7, 18	Package A	Package A
1, 2, 3, 4, 8, 9, 12, 13, 14, 15, 16, 17	Package A	Package B
5, 6, 10, 11, 19	Nil	Package A

Fire Management

- Dwellings constructed on lots identified as being at risk of bushfire attack under the approved Fire Management Plan shall be constructed to the appropriate BAL rating in accordance with Australian Standard 3959.
- This LDP shall be read in conjunction with the approved Fire Management Plan.



LOCATION PLAN ■ SUBJECT AREA

LEGEND

- Residential Density - R20
- Primary Street Development Frontage
- Noise Insulation Required (refer to TABLE 1).
- Designated Garage & Carport Location
- BAL Affected Lot
- Retaining Walls
- Indicative location of Street Tree

This Local Development Plan has been adopted by Council and signed by the Principal Planner:

[Signature]

Principal Planner
City of Kwinana

Date: 1 December 2017

