

LOT 555 PACE ROAD, MEDINA - DETAILED AREA PLAN

LOT 555 PACE ROAD, MEDINA DETAILED AREA PLAN PROVISIONS

AIM The primary aim of the Detailed Area Plan is to provide flexibility and guidance in the design and construction of residences and outbuildings, while introducing design elements which will ensure a quality estate and protect investment. In the interests of achieving quality development on small lots, a Detailed Area Plan has been produced.

R-CODING

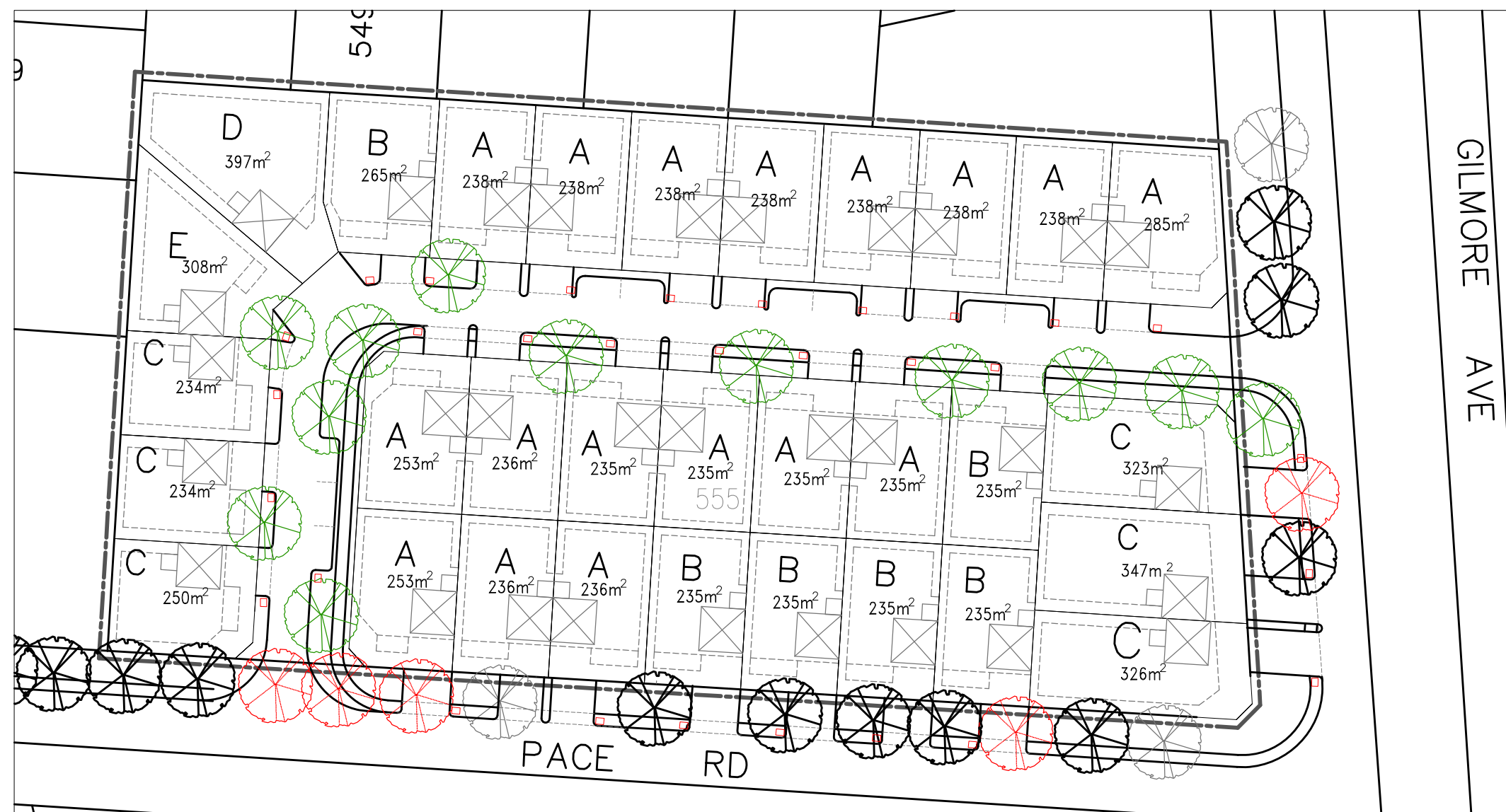
1. The requirements of the R-Codes are varied as shown in this Detailed Area Plan.

R-CODE VARIATIONS The Town Planning Scheme and R-codes are varied in the following manner:

- The requirements of the R-Codes are varied as shown in the notations on this Detailed Area Plan.
- The requirements of the R-Codes and Town Planning Scheme shall be satisfied in all other matters.
- The requirements to consult with adjoining or other owners to achieve a variation of the R-Codes as provided for under this Detailed Area Plan is not required.

DESIGN ELEMENTS

- All buildings shall be located within building envelopes, EXCEPT the front porch or verandah elements which are permitted to extend within the front setback area in accordance with Requirement 3 below.
- House, garage and private open space layout to be consistent with the individual lot designs forming part of this Detailed Area Plan.
- All houses shall comprise a front porch or verandah element which shall extend 2.0m forward of the front garage line. The porch or verandah element shall be a minimum 80% of the remaining building/built form after garage/carport construction for D & E as indicated on the DAP wherever the garage is indicated or a 1 metre minimum setback to the satisfaction of the Town of Kwinana.
- All houses shall adopt a style of architecture which is sympathetic to the character of Medina and which addresses the primary street.
- All houses shall comprise a roof pitch min 25 degrees.
- Any 2nd storey element shall be setback 1.5m behind the front of the garage, or shall wholly be contained within the roof space.
- Fencing forward of the building line shall be a maximum height of 1.2m and 50% visually permeable.
- Fencing behind front building setback line shall be of a consistent colour, standard and material, as determined by the Town of Kwinana in consultation with the subdivider/developer of the land. Such fencing to be provided by the subdivider/developer OR by way of a legal covenant/agreement with subsequent landowners of the lots created.



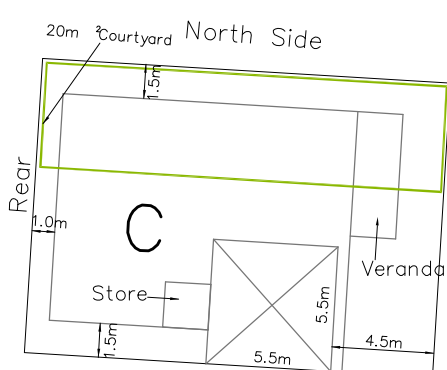
LOT TYPE 'A'

- 4.5m garage setback
- 4.0m street setback
- 1.0m side/rear ground floor setback
- 20m² courtyard within designated area with minimum dimension of 4m
- 45% overall open space
- Garage to be on side indicated in detailed area plan.



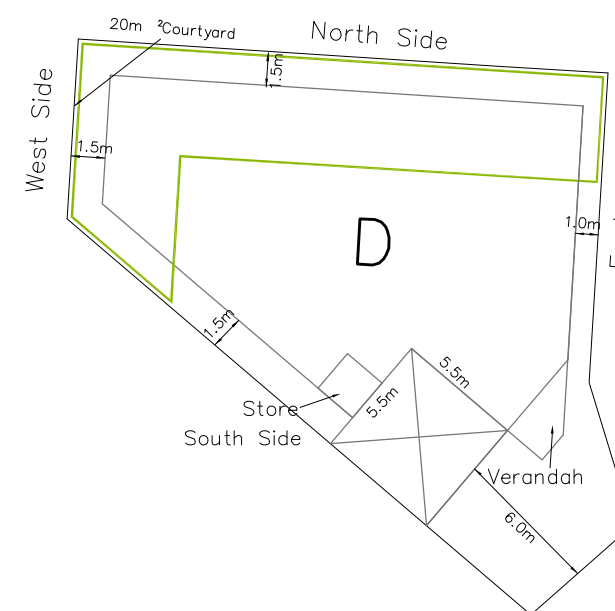
LOT TYPE 'B'

- 4.5m garage setback
- 4.0m street setback
- 1.0m side/rear ground floor setback
- 20m² courtyard within designated area with minimum dimension of 4m
- 45% overall open space
- Garage to be on side indicated in detailed area plan.



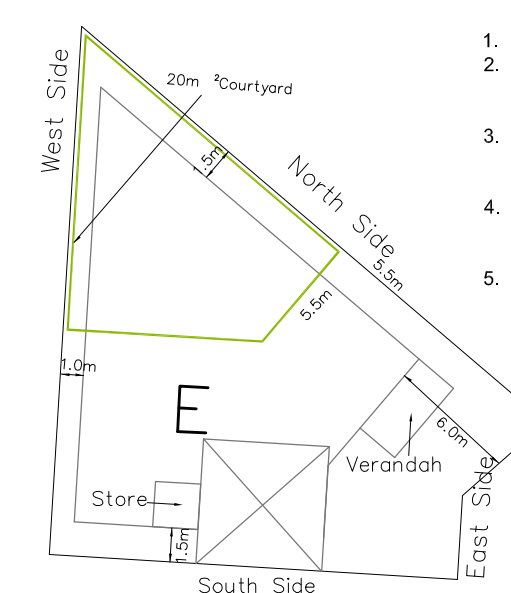
LOT TYPE 'C'

- 4.5m garage setback
- 4.0m street setback
- 1.5m side ground floor setback
- 1.0m rear ground floor setback
- Boundary walls permitted only for garages (ground floor only)
- 20m² courtyard within designated area with minimum dimension of 4m
- 45% overall open space
- Garage to be on side indicated in detailed area plan.



LOT TYPE 'D'

- 6.0m garage setback
- Ground floor setbacks -1.0m east -1.5m north/west/south
- Boundary walls permitted only for garages (ground floor) - south side boundary
- 20m² courtyard within designated area with minimum dimension of 4m
- 45% overall open space



LOT TYPE 'E'

- 6.0m garage setback
- Ground floor setbacks -1.50m north/south -1.0m west
- Boundary walls permitted only for garages (ground floor) - south side boundary
- 20m² courtyard within designated area with minimum dimension of 4m
- 45% overall open space



DETAILED AREA PLAN

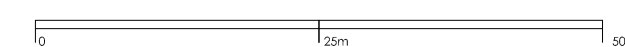
Lot 555 Pace Road, Medina
Town Of Kwinana



This Detailed Area Plan has been accepted by Council and signed by the Manager of Planning Services.

LEGEND

- Building Envelope
- Permitted Garage Location
- Site Paths
- Location of Courtyard



DISCLAIMER: AREA SUBJECT TO APPLICATION. CARRIAGEWAYS DIAGRAMMATIC ONLY. ALL AREAS AND DIMENSIONS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FURTHER SURVEY ENGINEERING AND DETAIL DESIGN.
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