

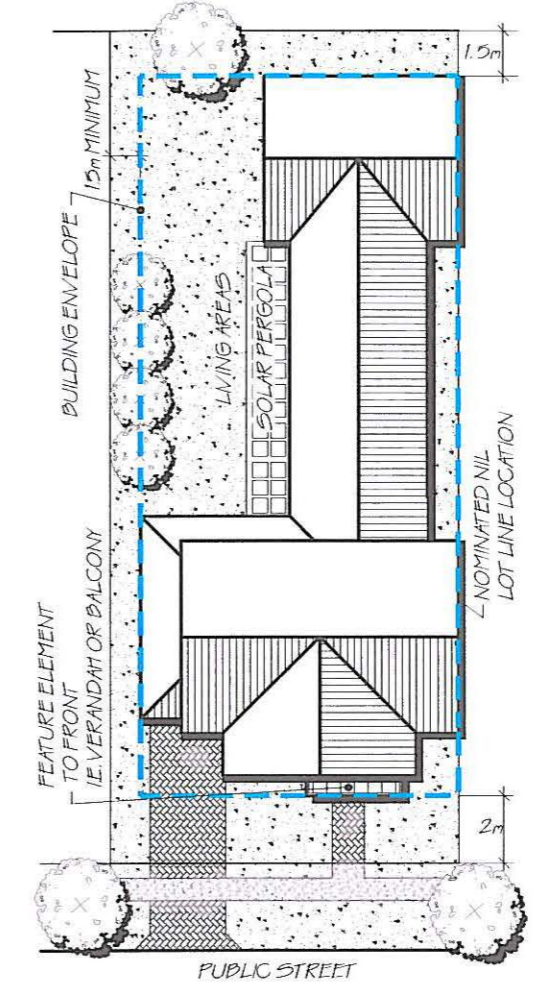
Dwellings are encouraged to have a single width tandem garage, to minimise the impact of parking spaces on the streetscape.

Possible vehicular access from rear boundary.

Rear and side setbacks as per RD-Codes.

Dwellings shall be setback a minimum of 2m from the primary street. No average setback applies.

Dwellings shall be setback 1m from the secondary street, in accordance with the RD-Codes.



TYPICAL SITE LAYOUT



LEGEND

- D.A.P. BOUNDARY
- VISUALLY PERMEABLE FENCING ABOVE 1.2m TO A MAXIMUM HEIGHT OF 1.8m
- BUILDING ENVELOPE
- NO VEHICULAR ACCESS
- PREFERRED BOUNDARY WALL LOCATION LENGTH AND HEIGHT AS PER RD-CODES

RD CODE VARIATIONS

- * The provisions of the Detailed Area Plan (DAP) constitute additional RD-Codes "Acceptable Development" provisions.
- * All other "Acceptable Development" provisions of the RD-Codes, Town Planning Scheme and Town of Kwinana still apply.
- * The requirements to consult with adjoining or other owners to achieve a variation of the RD-Codes is not required where development complies with this DAP.
- * These DAPs only apply to single dwellings.
- * Where no designated boundary wall location is shown, boundary walls shall be located in accordance with the RD-Codes.
- * Private open space is encouraged to be located to take advantage of solar passive design principles.
- * All dwellings are to be constructed with a store area (minimum 4m²) under the main roof of the residence or garage and accessible from either the exterior or the garage area.

DETAILED AREA PLAN
LOT 4 CALISTA AVENUE, CALISTA
TOWN OF KWINANA

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