

**LOCAL PLANNING SCHEME AND R CODE VARIATIONS**

1. The R code for all lots is R30

**SETBACKS :**

1. Primary street setbacks to all dwelling and garages shall be as nominated on DAP
2. Side setbacks to dwellings and garages shall be in accordance with standard R codes OR as follows :  
 A nil setback for the dwelling and garage / carport to the side boundary is permitted where indicated on the DAP.  
 A nil setback for Garage / carport or stores is permitted for a maximum of 9m on the non designated side, behind the street setback line (2m min).

**OPEN SPACE :**

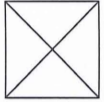
4. A minimum of 30% private open space shall be provided.

**GARAGES :**

5. Double garages, where provided to lots 604,605, 611 and 612, shall be setback a minimum of 0.5m behind the dwelling.

**OTHER :**

6. The requirement to consult adjoining or other land owners to vary the RD codes in accordance with this DAP is not required.
7. Compliance with this DAP negates the requirement under the RD codes to obtain planning approval for lots less than 350m<sup>2</sup>
8. All corner dwellings shall be designed to suitably address secondary street elevations thru the use of similar colours, materials and finishes.
9. Fencing to secondary street sides, where provided, shall be a visually permeable above 1.5m, except where required to screen outdoor living areas and service courtyards.
10. Outbuildings, where visible from the street are required to match the colours and materials of the dwelling.
11. Minor variations to this DAP may be allowed, subject to consultation with the Principle planner.



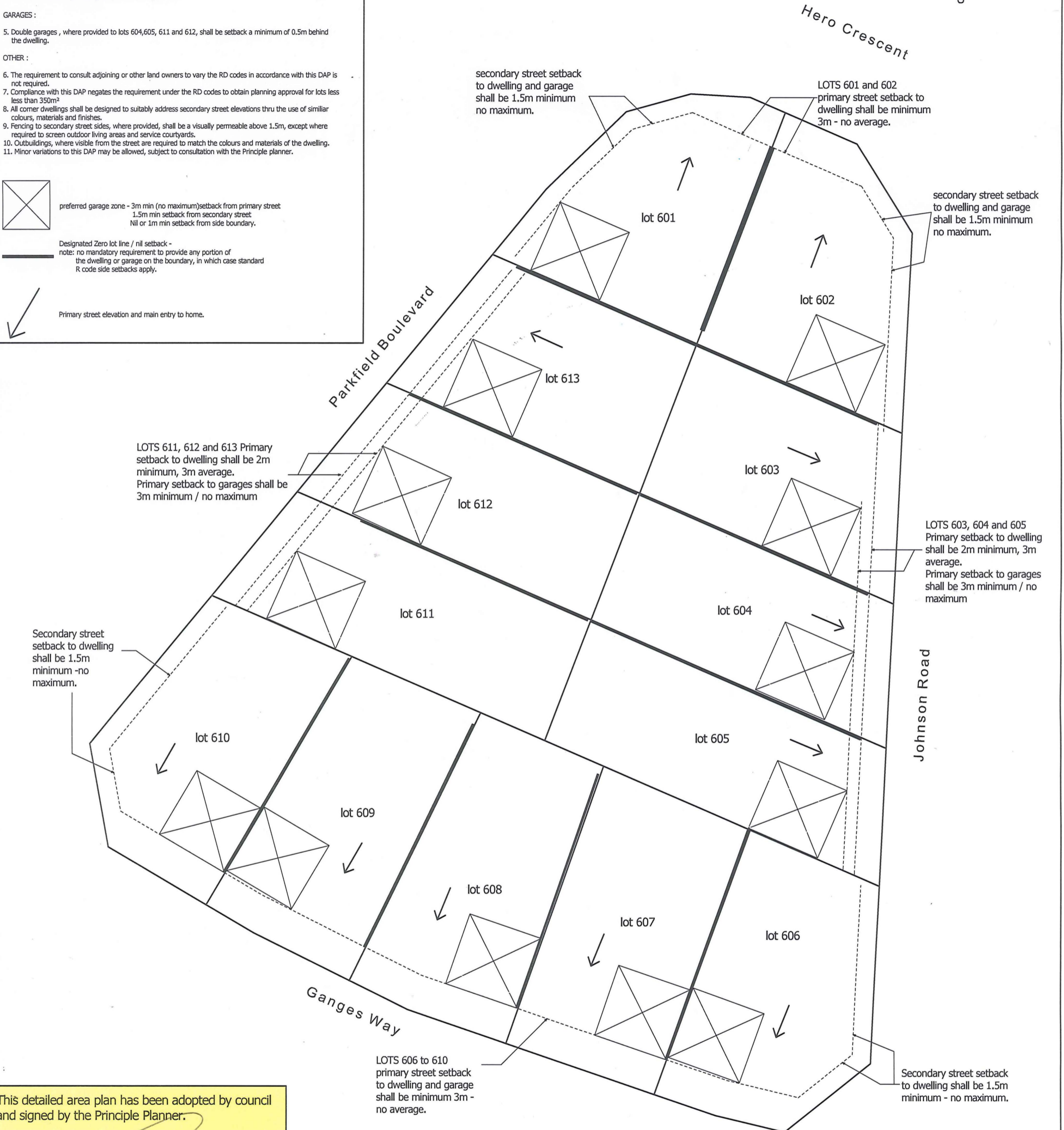
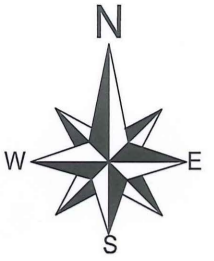
preferred garage zone - 3m min (no maximum) setback from primary street  
 1.5m min setback from secondary street  
 Nil or 1m min setback from side boundary.



Designated Zero lot line / nil setback -  
 note: no mandatory requirement to provide any portion of the dwelling or garage on the boundary, in which case standard R code side setbacks apply.



Primary street elevation and main entry to home.



This detailed area plan has been adopted by council and signed by the Principle Planner.

*[Signature]*

Principle Planner.

14 August 2012.

Date

**Detailed Area Plan**

Lots 601 to 613 inclusive  
 Hero Crescent, Johnson Road, Ganges Way and Parkfield Boulevard, Bertram

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**Homebuyers Centre**