




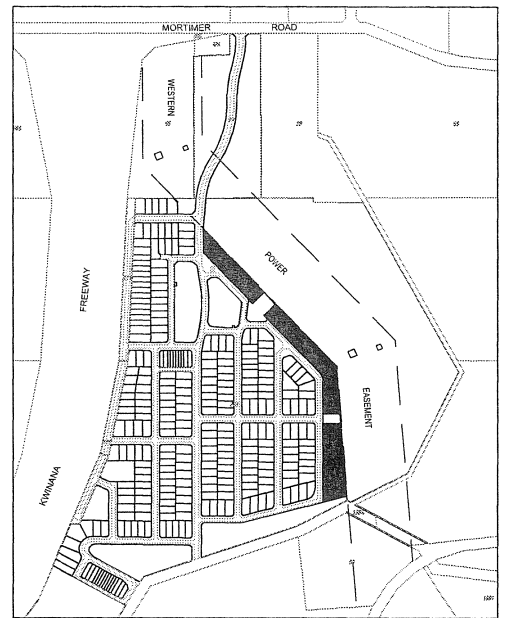


Driveways/Crossovers to Lots 394 and 395 to be constructed in accordance with this Detailed Area Plan.

**LEGEND**

-  Designated Garage Location
-  Visually Permeable Uniform Fencing
-  Visually Permeable Side Fencing
-  Outdoor Living Area
-  Lots subject to Detailed Area Plan



LOCATION PLAN

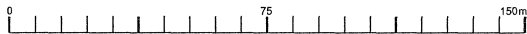
**General Design Guidelines**

The following design requirements shall apply in conjunction with the requirements annotated on the plan. The provisions in the Detailed Area Plan (DAP) comprise additional Residential Design Code "Acceptable Development" provisions. Unless varied in the DAP, a proposal shall be designed and assessed in accordance with the Residential Design Codes, Town of Kwinana Town Planning Scheme No. 2 and/or local planning policies.

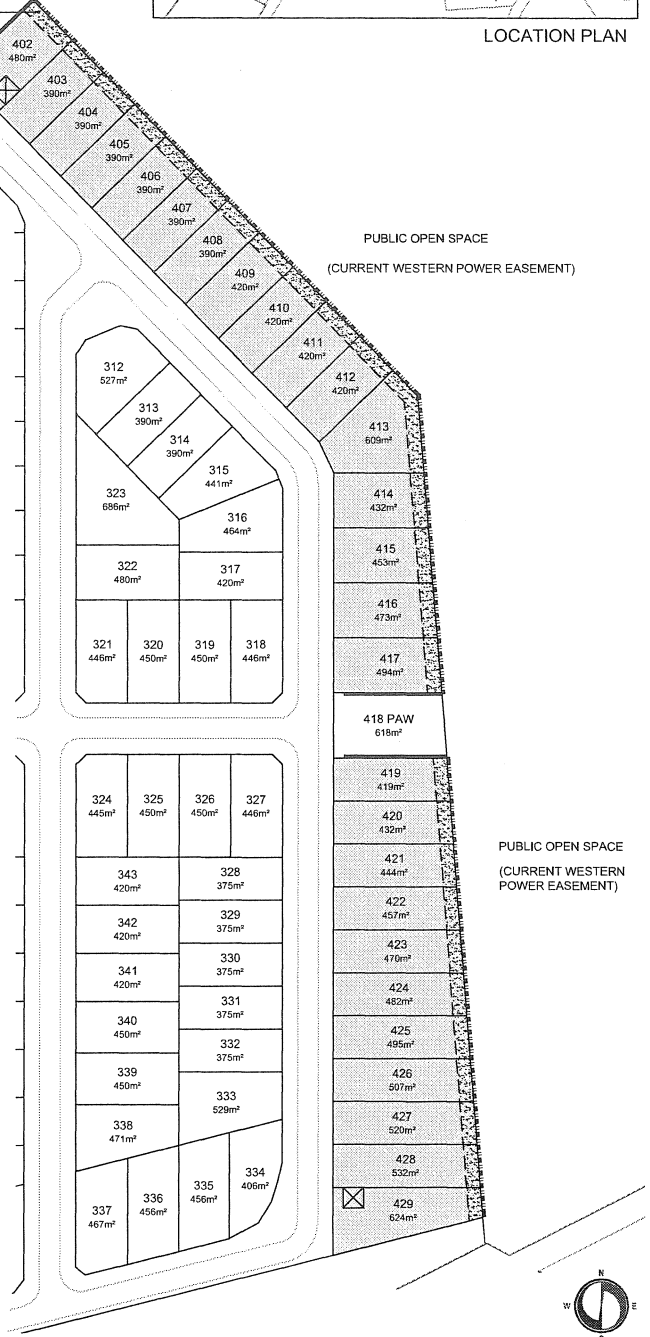
For Lots 392 to 417 and Lots 419 to 429 the following design requirements shall apply:

1. At least one outdoor living area with a minimum area of 30m<sup>2</sup> and a minimum dimension of 4 metres is to be provided abutting the Public Open Space (Western Power Easement) to provide for passive surveillance (excluding Lot 393).
2. Dwellings are to be orientated so that at least one habitable room is facing towards the public open space (Western Power Easement) to provide passive surveillance of the public open space (excluding Lot 393). However, the main dwelling entrance will face the primary road frontage.
3. Fencing along the rear boundaries for all lots and side boundary for Lot 392 where it adjoins Public Open Space (Western Power Easement) and the side boundary for Lot 393 where it abuts the road reserve, shall be visually permeable from 0.35m above ground level to 1.8m high (limestone pillars with pool fence infill) and be constructed to a high standard and maintained thereafter to the satisfaction of the Town of Kwinana.
4. Uniform fencing to be provided for Lots 401, 402, 417 & 419, behind the front building line, where the side boundary adjoins Public Open Space or a Public Access Way as shown on the DAP. Fencing shall be visually permeable from 1.2 metres above ground level to 1.8 metres high (limestone pillars with pool fence infill). Fencing adjacent to Outdoor Living Areas to be limestone pillars with solid infill. Fencing to be constructed to a high standard and maintained thereafter to the satisfaction of the Town of Kwinana.
5. Sheds and outbuildings that do not match the construction materials and colours of the dwellings are not to be visible from the adjoining public open space (Western Power Easement) and other public open space (adjoining Lots 393, 401, 402 and 429) and pedestrian access way (adjoining Lots 417 and 419).
6. Balconies (if proposed) are to be designed to overlook public open space (Western Power Easement).
7. Garages for Lots 392, 394, 395, 401, 402 and 429 shall be located within the designated area as shown on the DAP. Driveways/crossovers for lots 394 and 395 shall be constructed within the designated location identified on the DAP.
8. No dwelling walls shall be permitted on any boundary abutting public open space and pedestrian access way.
9. Clothes drying area shall be screened from public view.

The requirement to consult with adjoining or other land owners to vary the Residential Design Codes in accordance with the DAP is not required.



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**DETAIL AREA PLAN (DAP 1.)**  
**LOTS 392 - 417 AND 419 - 429**  
**SUNRISE ESTATE - WELLARD EAST**

This Local Development Plan (LDP) has been approved by the City of Kwinana under the provisions of Local Planning Scheme No.2 and Schedule 2 (Deemed Provisions) of the Planning and Development (Local Planning Schemes) Regulations 2015. This LDP is valid for the period specified in this approval, unless the City earlier revokes its approval.

  
 Delegated Authority  
 City of Kwinana

S143912  
 City Ref.  
 03/04/2012  
 Approval Date  
 19/10/2030  
 Expiry Date

  
**Cardno**  
 CONSULTING ENGINEERS  
 TOWN PLANNING AND URBAN DESIGN  
 ENVIRONMENTAL CONSULTANTS

Cardno (WA) Pty Ltd  
 11 Harvest Terrace  
 P.O. Box 447  
 West Perth 6072  
 Telephone (08) 9273 3888  
 Facsimile (08) 9486 8664

DATE: 21.03.12 SCALE AT A3: 1:1500  
 DESIGNED: FC CHECKED: LE  
 DRAWN: FC APPROVED: LE  
 LOCAL AUTHORITY  
 TOWN OF KWINANNA  
 PROJECT-PHASE-PLAN NUMBER REVISION  
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