

# APPLICATION OF LOCAL DEVELOPMENT PLAN


## GENERAL PROVISIONS

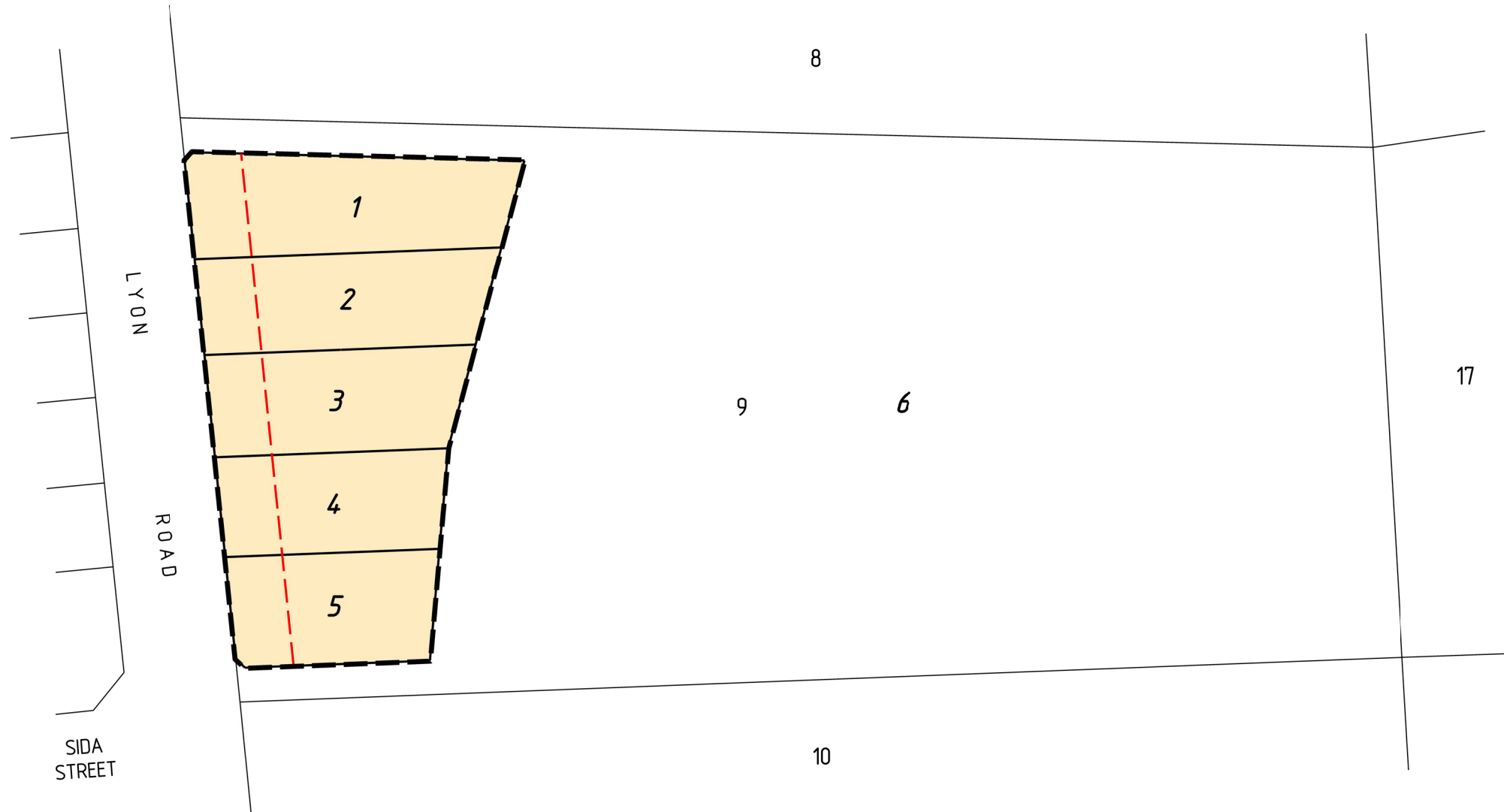
The requirements of the Residential Design Codes (R-Codes) will apply to all Lots in the Local Development Plan (LDP) unless otherwise varied below or illustrated on the LDP map.

### Streetscape

- a. A Primary Street setback distance of 10 metres is to be provided to accommodate Landscaping.
- b. Vehicular Crossovers are to be located to ensure the retention of Trees, where possible.
- c. An appropriate vehicle manoeuvring area is to be provided within the Lot Boundary/s to enable vehicles to exit onto LYON ROAD in forward gear.

This Local Development Plan (LDP) has been approved by the City of Kwinana under the provisions of Local Planning Scheme No.2 and Schedule 2 (Deemed Provisions) of the *Planning and Development (Local Planning Schemes) Regulations 2015*. This LDP is valid for the period specified in this approval, unless the City earlier revokes its approval.

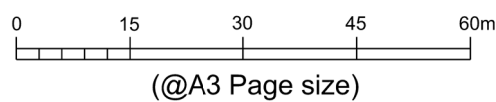
	2026-0760	10 April 2026
Delegated Authority City of Kwinana	City Ref.	Approval Date
		10 April 2036
		Expiry Date







## Naturaliste Land Surveys

19 Robertson Place, Bibra Lake WA 6163  
Tel 041 145 0784 email pag@westnet.com.au

SCALE 1 : 1000



### LEGEND

-  Lots Subject to this LDP
-  Residential
-  10m Primary Street Setback
-  Existing Lots

this plan drafted 10.11.2025  
(dwg ref 25612)  
Lic. Svyr. PETER .A. GRANT  
NLS - 2903 D

Local Development Plan No.

(WAPC Subdivision Approval Ref. 200720 )

LOT 9 on Freehold Diagram 71781

643 LYON ROAD, WANDI, WA 6167