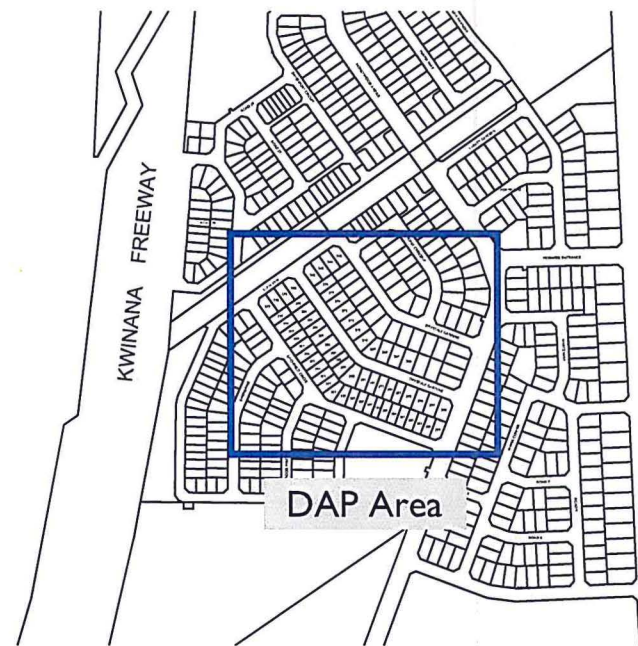




DETAILED AREA PLAN (DAP) 5 - STAGE 2A, HONEYWOOD ESTATE, WANDI



LOCAL LOCATION
NTS

This Detailed Area Plan has been approved by Council under the provisions of the City of Kwinana Town Planning Scheme No. 2 and the Wandí (north) Local Structure Plan.

Principal Planner:

Date: 15/7/2013

This DAP applies all lots within Stage 2A of the Honeywood Estate.

Unless otherwise defined below, all development shall be in accordance with the City of Kwinana Town Planning Scheme No. 2, the Residential Design Codes, and the Wandí (north) Local Structure Plan.

Unless varied below, the R30 provisions of the Residential Design Codes apply to all lots subject to this DAP. The Residential Design Codes do not apply where varied below.

Compliance with the provisions of this DAP negates the need for planning approval for lots 350 m² or less.

Setbacks

1. A minimum 3 metre and a maximum 5 metre Primary Street setback applies to all lots in subject to this DAP. No average setback applies.
2. Setbacks may be varied at the discretion of the Manager, Planning and Development, for corner lots or where otherwise the configuration of the lot limits compliance with setback requirements.
3. For corner lots, where the major dwelling entry (front door) is oriented toward the secondary street, secondary street setbacks still apply.
4. Porticos may be setback a minimum of 2 metres from the Primary Street where required under this DAP.
5. For all lots, a nil side setback is permissible to the southern-most boundary behind the Primary Street setback line and up to 4 metres from the rear boundary, for up to two-thirds the length of the side boundary.
6. For lots with a frontage of 10 metres or less, nil setbacks are permitted to both side boundaries simultaneously.
7. Where a nil side setback is permissible but not proposed, side setbacks shall conform to the requirements of the R-Codes.
8. Garages may be setback to a minimum of 3.5 metres, provided the garage is not forward of the dwelling alignment. Garages may be parallel to the dwelling provided they do not exceed the 3.5 metre setback line.

Site coverage

9. Maximum site coverage may be increased to 65%.

Streetscape

10. Where lots have frontages less than 12 metres garages may exceed 50% of the lot frontage.
11. Where garages exceed 50% of the lot frontage and single storey dwellings are constructed, porticos are required to be provided and situated in front of the garage setback line. Porticos may be setback a minimum of 2 metres. Where double-storey dwellings are constructed this provision does not apply.
12. Where porticos are provided they are to be constructed so they provide a clear indication of the dwelling entrance and are the dominant feature of the façade. The use of render and roof form should be incorporated to provide interesting and varied elevations.
13. Fencing along the secondary street boundary shall be visually permeable above 1.2 metres for the length of 3 metres from the end of the truncation.

Design Elements

14. Where sheds and outbuildings do not match the construction materials and colours of the dwelling they are to be screened from public view.
15. Where appropriate, outdoor living areas shall be located to enhance maximum solar penetration from the north.
16. For lots with an area of 350m² or less, storage areas with a minimum internal area of 4m² are to be provided at the time of the construction of the dwelling.

Fire Management

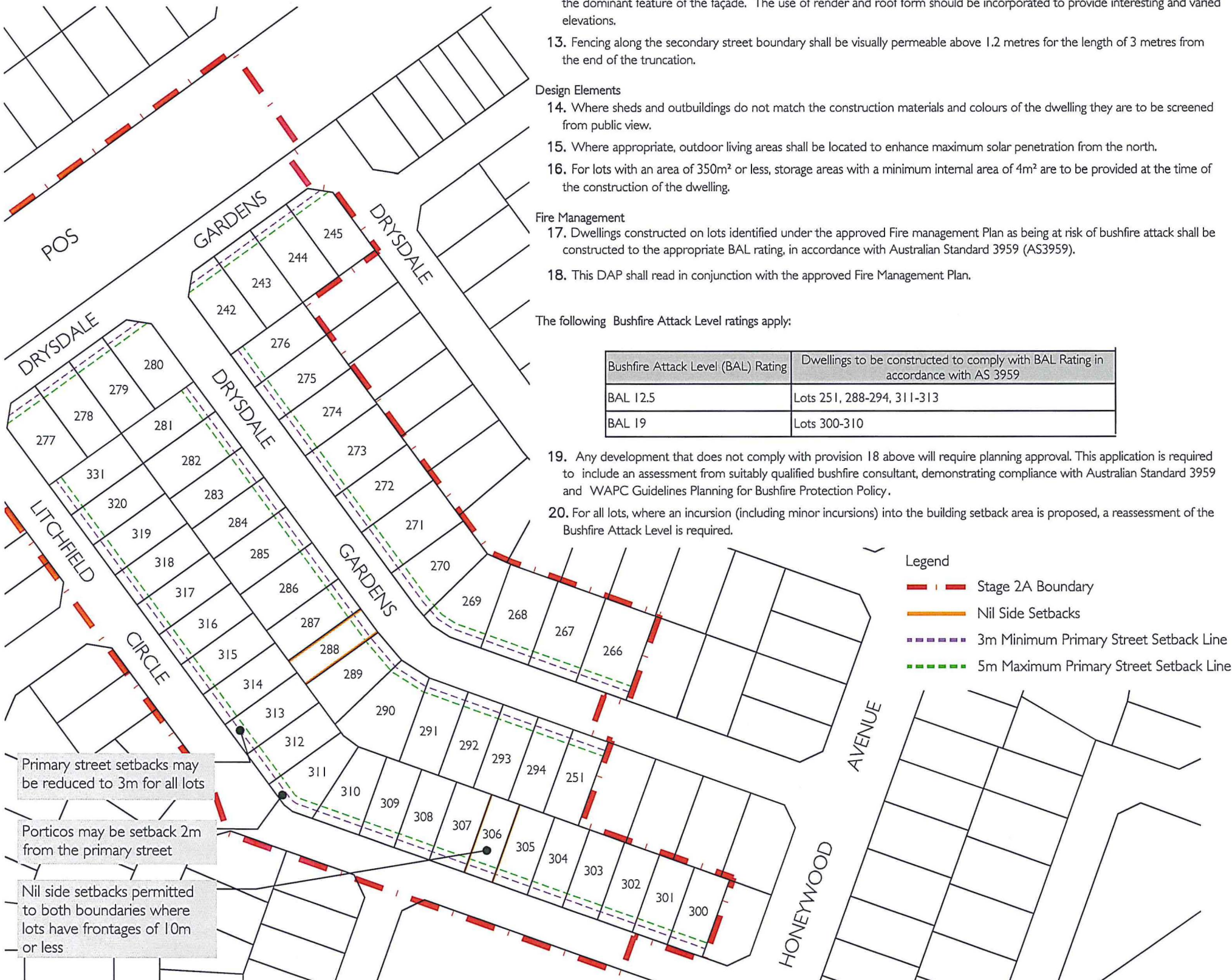
17. Dwellings constructed on lots identified under the approved Fire management Plan as being at risk of bushfire attack shall be constructed to the appropriate BAL rating, in accordance with Australian Standard 3959 (AS3959).
18. This DAP shall read in conjunction with the approved Fire Management Plan.

The following Bushfire Attack Level ratings apply:

Bushfire Attack Level (BAL) Rating	Dwellings to be constructed to comply with BAL Rating in accordance with AS 3959
BAL 12.5	Lots 251, 288-294, 311-313
BAL 19	Lots 300-310

19. Any development that does not comply with provision 18 above will require planning approval. This application is required to include an assessment from suitably qualified bushfire consultant, demonstrating compliance with Australian Standard 3959 and WAPC Guidelines Planning for Bushfire Protection Policy.

20. For all lots, where an incursion (including minor incursions) into the building setback area is proposed, a reassessment of the Bushfire Attack Level is required.



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PLANNING DESIGN DELIVERY

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