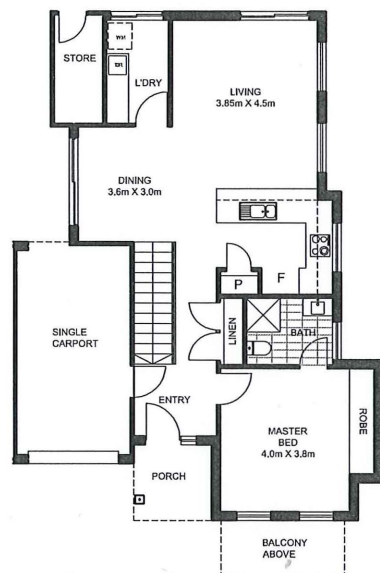


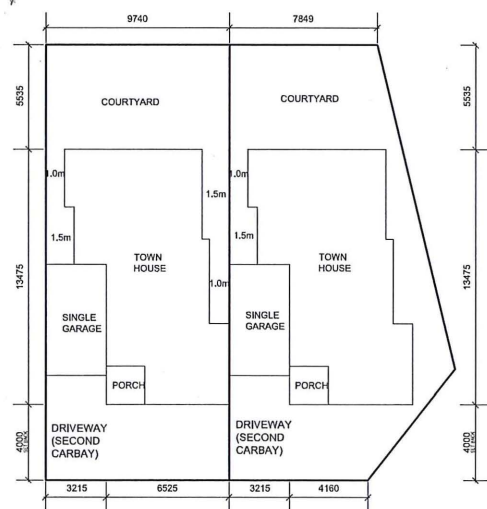
FIRST FLOOR PLAN  
SCALE 1:100



GROUND FLOOR PLAN  
SCALE 1:100



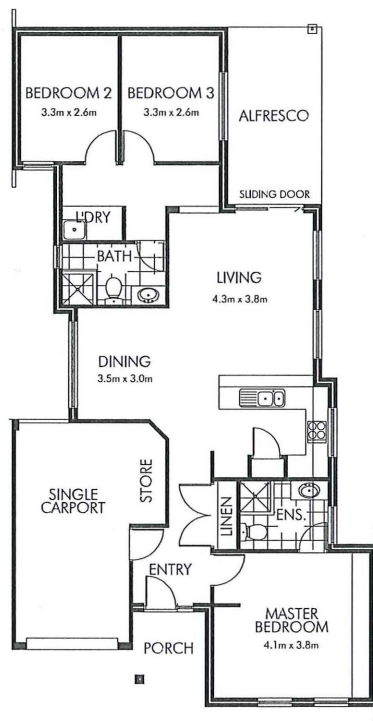
TYPICAL FRONT ELEVATION  
SCALE 1:100



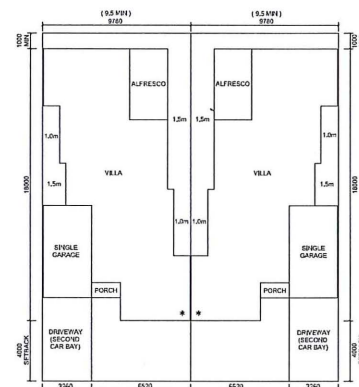
LAYOUT PLAN - TWO STOREY TOWNHOUSE  
SCALE 1:250



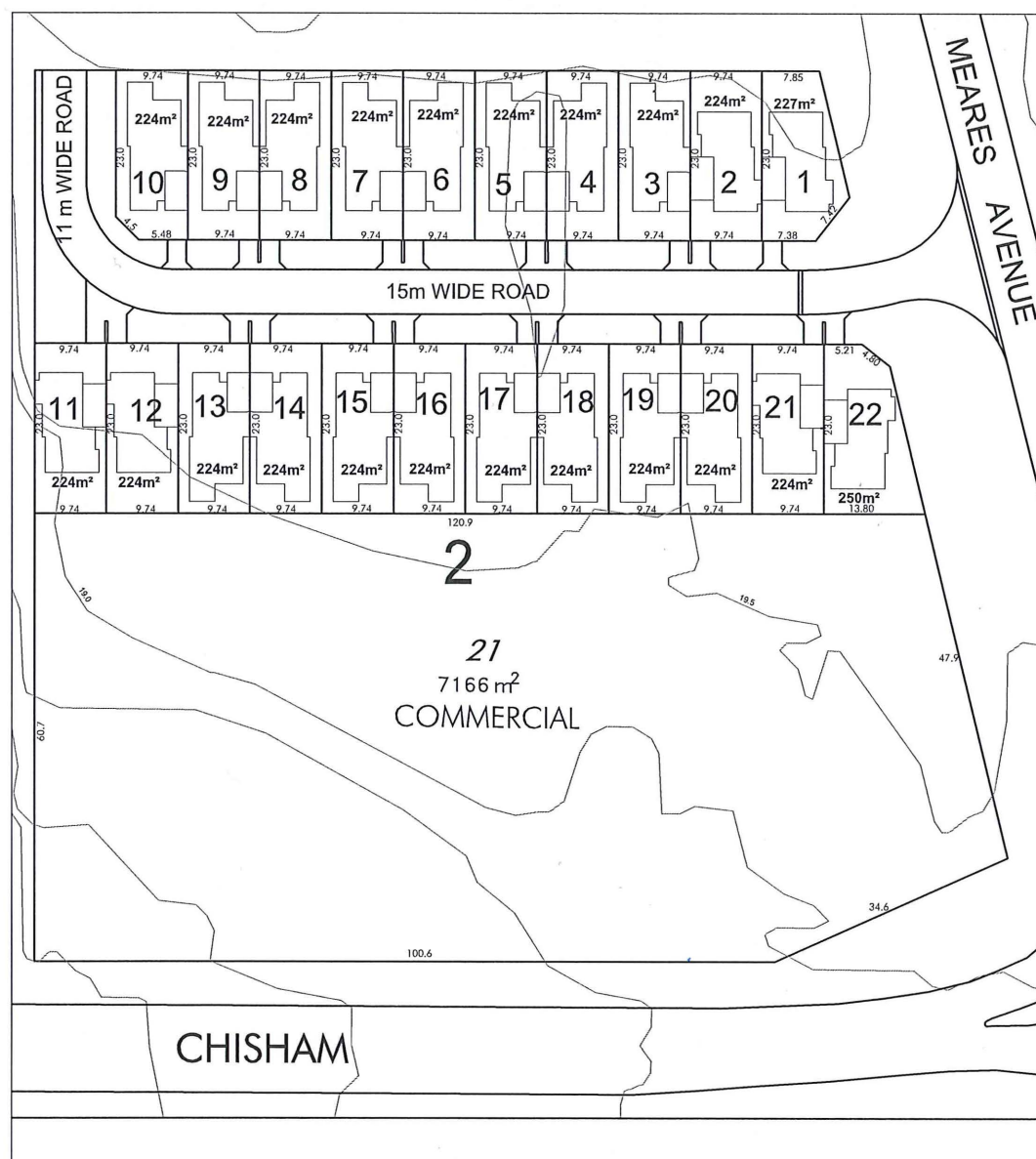
TYPICAL FRONT ELEVATION  
SCALE 1:100



TYPICAL FLOOR PLAN  
SCALE 1:100



LAYOUT PLAN - SINGLE STOREY VILLA  
SCALE 1:250



PROPOSED SUBDIVISION PLAN  
SCALE 1:500

## KWINANA TOWN CENTRE REDEVELOPMENT DEVELOPMENT GUIDE PLAN Pt LOT 2 CHISHAM AVE / MEARES AVE ( FOR TOWN CENTRE RESIDENTIAL PORTION OF LOT 2 ONLY )

### DESIGN OBJECTIVE

ALL LOTS ARE TO BE DEVELOPED AS HOUSE AND LAND PACKAGES IN ACCORDANCE WITH THE DESIGN PLANS.

### R CODING

1. THE RESIDENTIAL DESIGN CODE APPLYING TO THESE LOTS IS R40

### SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- THE SCHEME AND RESIDENTIAL DESIGN CODES ARE VARIED AS DESCRIBED IN THESE NOTATIONS.
- THE REQUIREMENTS OF THE SCHEME AND RESIDENTIAL DESIGN CODES SHALL BE SATISFIED IN ALL OTHER MATTERS HOWEVER.

### DESIGN ELEMENTS

- THE FOLLOWING MATTERS APPLY TO THE DEVELOPMENT OF LOTS AFFECTED BY THE DEVELOPMENT GUIDE PLAN.
  - MAXIMUM SITE COVERAGE ALLOWED IS 70% SUBJECT TO AN OUTDOOR LIVING AREA BEING PROVIDED IN ACCORDANCE WITH THE RESIDENTIAL DESIGN CODES AND LOCATED TO ADDRESS THE NORTHERN-MOST AND EASTERN-MOST BOUNDARIES;
  - HOUSES ARE REQUIRED TO SUITABLY ADDRESS ADJACENT STREET FRONTS;
  - A 2m SOLAR SETBACK APPLIES TO WALLS WITH MAJOR OPENINGS FACING THE NORTHERN-MOST AND EASTERN-MOST BOUNDARIES;
  - THE 2 STOREY BUILDING ON LOTS 1 AND 22 SHOULD ADDRESS MEARES AVENUE EITHER THROUGH WINDOWS OR BALCONIES.

### ELEVATIONS AND OUTDOOR LIVING AREAS

- HOUSES SHALL HAVE ONE OR MORE MAJOR OPENINGS TO A HABITABLE ROOM FACING THE ROAD.

### SETBACKS

- SETBACKS FOR DEVELOPMENT SHALL BE IN ACCORDANCE WITH THE FOLLOWING;
  - REAR SETBACK: IN ACCORDANCE WITH THE RESIDENTIAL DESIGN CODE.

FRONT SETBACK : MINIMUM 2m SETBACK FOR DWELLING. GARAGE SETBACK AS PER RD-CODES

SIDE SETBACK : PARAPET WALLS MAY BE DEVELOPED ALONG BOTH SIDE BOUNDARIES SUBJECT TO LENGTH/ HEIGHT PROVISIONS OF RD-CODES.

### GARAGES, VEHICULAR ACCESS AND DRIVEWAYS

- GARAGES SHALL BE DEVELOPED AND ACCESSED FROM THE STREET FRONTAGE. STREET FRONTAGE ACCESS TO A GARAGE IS NOT PERMITTED ACROSS ANY CORNER TRUNCATION (REFER LOTS 1, 10 & 22).
- GARAGES SHALL BE A MAXIMUM OF 4m WIDE - ONLY SUITABLE FOR TANDEM PARKING OF 2 VEHICLES.
- EACH HOUSE SHALL HAVE A DRIVEWAY AND CROSSOVER COMPLETED PRIOR TO OCCUPATION OF THE HOUSE;
- MAXIMUM WIDTH OF CROSSOVER SHALL BE 4m.
- ALL DRIVEWAYS (NOT INCLUDING THE CROSSOVER) SHALL BE CONSTRUCTED OF EITHER CONCRETE, ASPHALT OR BRICK PAVING MATERIALS. ALL CROSSOVERS SHALL BE CONSTRUCTED OF CONCRETE MATERIAL IN ACCORDANCE WITH COUNCIL'S SPECIFICATIONS.

### FENCING

- FRONT WALLS AND FENCES ON LOT BOUNDARIES ABUTTING THE STREET SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH SECTION 6.2.5A5 OF THE RESIDENTIAL DESIGN CODES. SOLID SCREEN FENCING HIGHER THAN 1.2m IS NOT PERMITTED.
- ALL SIDE BOUNDARY FENCING IS TO BE 1.8m HIGH COLOURBOND AND FULLY INSTALLED PRIOR TO THE OCCUPATION OF THE DWELLING.

### OUTBUILDINGS

- A STOREROOM OF 4m<sup>2</sup> FLOOR AREA SHALL BE INTEGRATED INTO THE DWELLING (ie UNDER THE SAME ROOF) AND CONSTRUCTED OF THE SAME MATERIALS. THIS ROOM SHALL ONLY BE ACCESSIBLE FROM OUTSIDE THE DWELLING.
- NO ADDITIONAL SHEDS OR OUTBUILDINGS ARE PERMITTED ON LOTS

### WASHING LINES AND RUBBISH BINS

- CLOTHES LINES AND RUBBISH BIN STORAGE MUST BE SCREENED FROM VIEW OF THE STREET BEHIND THE PRIMARY SETBACK OF THE DWELLING.

### AIR CONDITIONING / COOLING UNITS AND SOLAR HOT WATER SYSTEMS

- AIR CONDITIONING / COOLING UNITS MUST BE OF SIMILAR COLOUR TO THE ROOF AND MUST NOT PROTRUDE ABOVE ANY ROOF RIDGELINES OR GABLES. UNITS ARE NOT TO BE VISIBLE FROM THE ADJACENT STREET FRONT AND MUST BE POSITIONED TO PREVENT NOISE IMPACTS IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTS 'INSTALLERS GUIDE TO AIR CONDITIONER NOISE' PUBLICATION.
- SOLAR HOT WATER SYSTEMS MUST BE INTEGRATED WITH THE DESIGN OF THE ROOF, AND WHERE VISIBLE FROM THE ADJACENT STREET FRONT BE A SPLIT SYSTEM WITH THE TANK INSTALLED AT GROUND LEVEL OR OUT OF PUBLIC VIEW.

### NOTIFICATION TO PROSPECTIVE PURCHASERS

- THE DEVELOPER IS REQUIRED TO GIVE PROSPECTIVE PURCHASERS A COMPLETE COPY OF ALL OF THE REQUIREMENTS OF THIS DEVELOPMENT GUIDE PLAN PRIOR TO OFFER AND ACCEPTANCE BEING MADE.

### ADVICE NOTE

- PLANNING APPROVAL IS NOT REQUIRED FOR THE CONSTRUCTION OF A DWELLING ON ANY LOT WITHIN THE AREA COVERED BY THE DEVELOPMENT GUIDE PLAN EXCEPT WHERE VARIATIONS TO THE PROVISIONS OF THE DEVELOPMENT GUIDE PLAN ARE SOUGHT.

THIS PLAN HAS BEEN APPROVED BY COUNCIL ON THE 9/9/2009  
IN ACCORDANCE WITH CLAUSE 6.2.1.6.1.1 OF THE TOWN OF  
KWINANA TOWN PLANNING SCHEME No.3

SIGNED

## DETAILED AREA PLAN - TOWNHOUSE & VILLA OPTIONS

KWINANA TOWN CENTRE REDEVELOPMENT  
Pt Lot 2 CHISHAM AVE / MEARES AVE  
KWINANA

### NOTES

Distances and areas subject to survey



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