

**JOHNSON ROAD
MIXED BUSINESS PARK**

DESIGN GUIDELINES



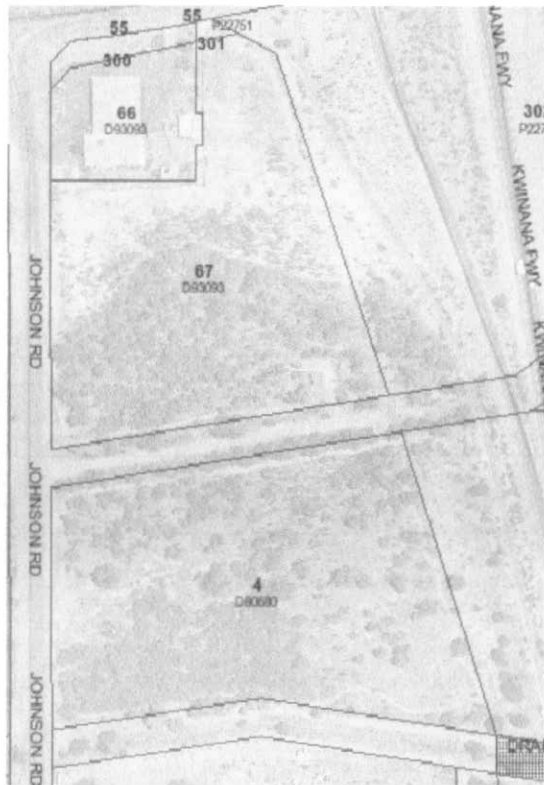
March 2008

ROB PAULL & ASSOCIATES

TOWN PLANNING

1.0 Introduction

- 1.1 The following *Johnson Road Mixed Business Park Design Guidelines* ('*Design Guidelines*') have been prepared to ensure that uses possible under the Scheme within the Johnson Road Mixed Business Park are developed in a manner that has minimal impact on the amenity of the surrounding residential area whilst maintaining a high quality appearance. Specifically, the *Design Guidelines* relate to Lots 4 and 67 Johnson Road, Burtram, Town of Kwinana.



The endorsed Development Guide Plan for the Johnson Road Mixed Business Park (north of the drainage area) and overlaid by the preferred subdivision design is included as Figure 1. A copy of the Development Guide Plan is included as Appendix 1

The *Design Guidelines* were adopted by the Council of the Town of Kwinana on 12 March, 2008. The *Design Guidelines* set out the minimum standards and conditions under which development within the Johnson Road Mixed Business Park will normally be applied.

- 1.2 Subdivision and development shall be in accordance with the Subdivision design overlaid to the endorsed Development Guide Plan. Variations to these guidelines may only be permitted with planning consent granted by the Town of Kwinana.
- 1.3 The Town of Kwinana's Thematic Framework & Municipal Inventory defines the Old Rockingham-Armadale Road as a Management Category 'B' - "*High level of protection for places of considerable cultural heritage significance to the Town of Kwinana*".

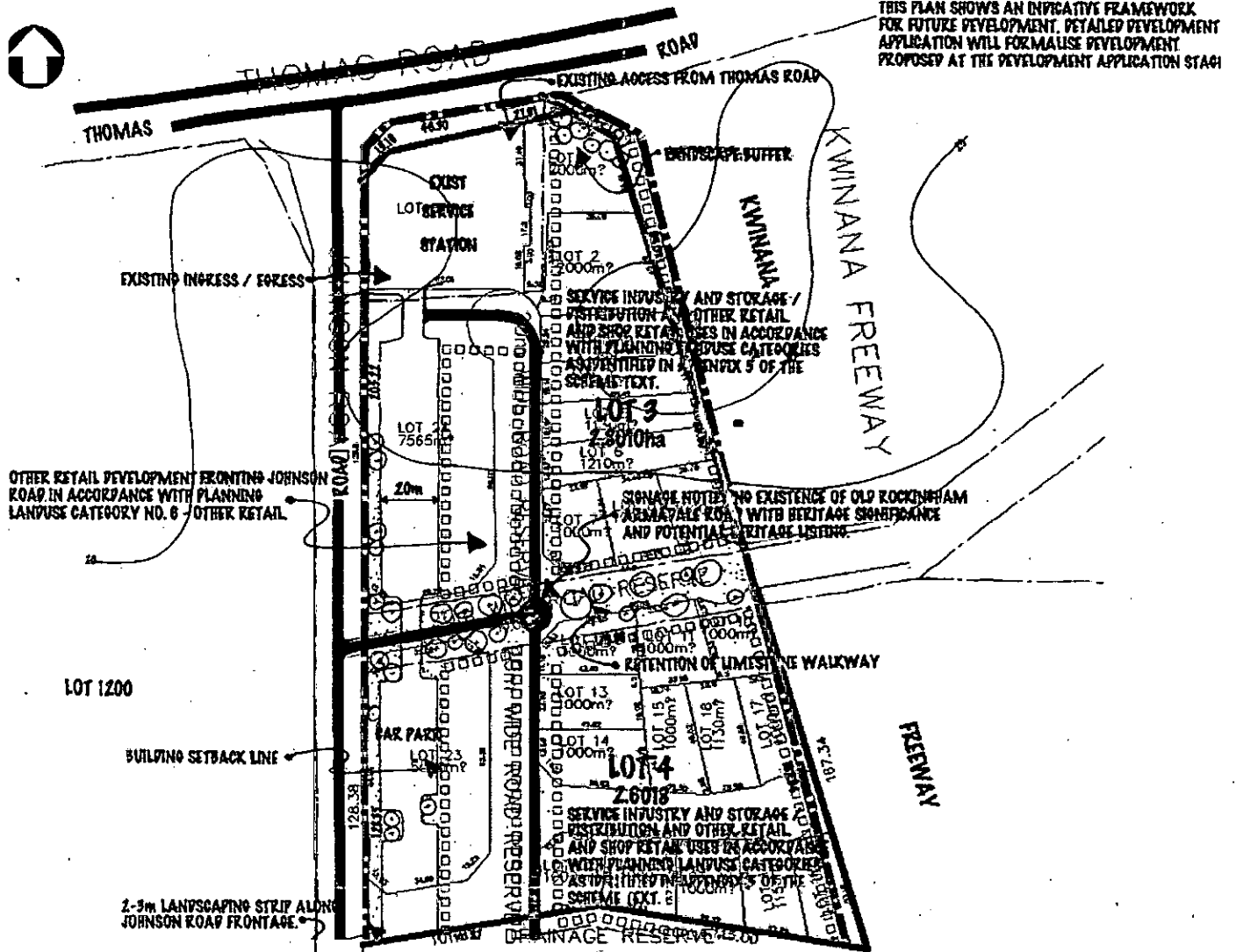


Figure 1 Endorsed Development Guide Plan.

- 1.4 Although the retention of the Road has been somewhat limited in many parts of the Municipality, the basic alignment has been preserved within an existing road reserve within the immediate area of Johnson Road.
- 1.5 Accordingly, it is intended that the direction of the Town of Kwinana's Thematic Framework & Municipal Inventory be achieved through appropriate measures to recognise the "... cultural heritage of the place in either a written or physical representation".

- 1.6 Even though the Road is the responsibility of the Town, where subdivision is sought the Town of Kwinana will request the Western Australian Planning Commission to include a condition that acknowledges the existence of Old Rockingham-Armadale Road as this Road has important heritage significance for the Town. The form of this is to be through paving type approved by the Town and signage. In addition, the development of the road connection is to extend to the pavement construction to the adjoining Kwinana Freeway dual use path.



Plate 1 Old Rockingham-Armadale Road – Looking West from Kwinana Freeway dual use path



Plate 2 Adjoining Kwinana Freeway dual Use Path Looking South



Plate 3 Adjoining Kwinana Freeway dual Use Path Looking North



Plate 4 **Vacant and existing Petrol Station Site from Thomas Road**

2.0 Application of Guidelines

2.1 The *Design Guidelines* apply to land bounded by Johnson Road, Kwinana Freeway, Thomas Road and the Drainage Reserve (Lots 4 and 67 Johnson Road, Bertram) and zoned 'Mixed Business 1' pursuant to the Town of Kwinana Town Planning Scheme No. 2 ('Scheme'). Figure 2 identifies the subject land and the relevant zoning.

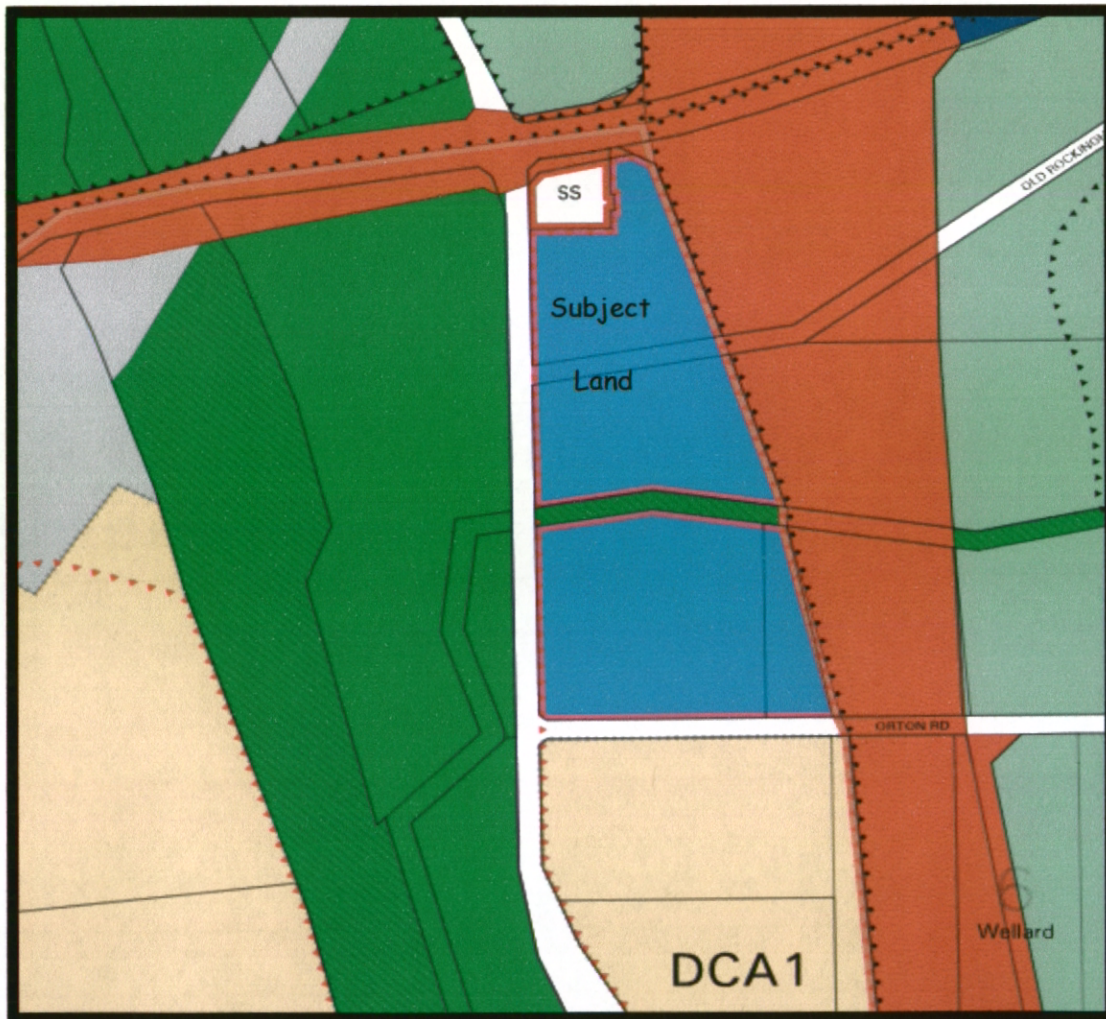


Figure 2 Zoning of Subject Land





2.2 For the purpose of applying the guidelines to the future subdivision, development and use of lots within the Johnson Road Mixed Business Park specific 'Design Areas' have been identified (refer Figure 3).

2.3 The Design Areas are as follows:

Design Area One - Service Industry/Warehouse (Storage and Distribution)



Design Area Two - Showroom (Other Retail)



2.4 The *Design Guidelines* officially form part of Development Guide Plan adopted by Council pursuant to Clause 6.7.1 of the Scheme. Due to its direct frontage to Johnson Road, a list of preferred land uses has been determined for Design Area Two.

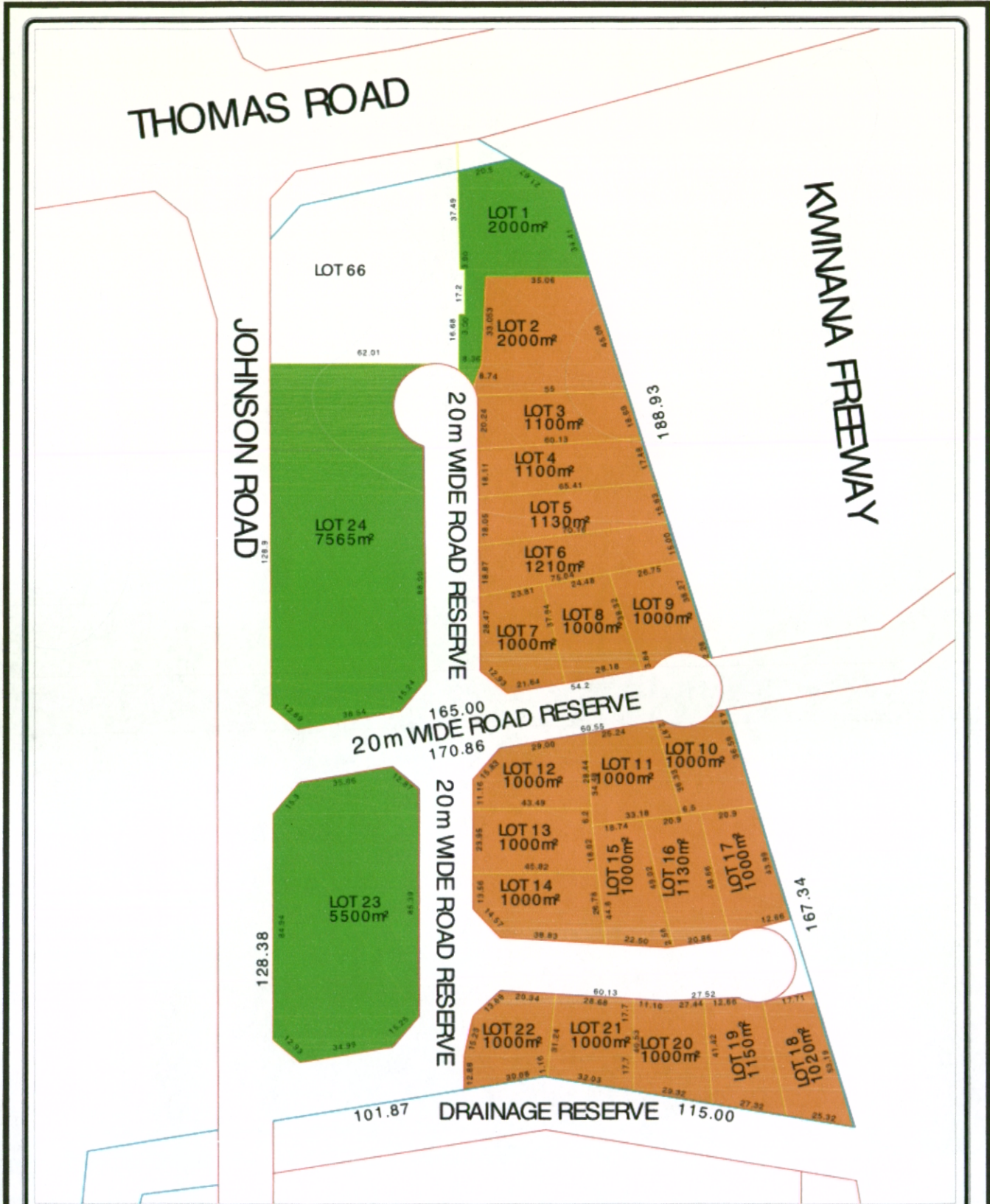
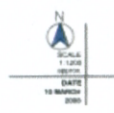


FIGURE 3
DESIGN AREAS
 DESIGN AREA ONE: SERVICE INDUSTRY / WAREHOUSE
 (STORAGE AND DISTRIBUTION)
 DESIGN AREA TWO: SHOWROOM (OTHER RETAIL)



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3.0 Permitted Uses

3.1 The Uses permitted are defined within Table 1 of the Scheme. Appendix V of the Scheme identifies the use classes and subset land use activities in the 'Mixed Business 1' that may be approved by the Town of Kwinana. It should be noted that the subset uses defined under Appendix V of the Scheme relate to 'Service Industry' and 'Warehouse' parent uses. The identified uses are as follows:

- Service Industry; and
- Warehouse.

The specific 'land use activities' associated with the above issues are as follows:

Service Industry:

- Building Trades Services
- Carpentry and Wood Flooring Services
- Catering and Functions Services
- Ceiling Installations Services
- Cleaning Services
- Dental Laboratories Services
- Electrical Repair Services
- Fencing Services
- Funeral and Crematory Services
- Gardening Services
- Insulation Installation Services
- Laboratory Services
- Laundering, Dry-Cleaning and Dyeing Services
- Lawn Mower Repair Services
- Linen Supply and Industrial Laundry Services
- Machinery Repair Services
- Marine Machinery Repair Services
- Masonry, Stonework, Tile Setting, and Plastering Services
- Motor Cycle Repair Services
- Motor Vehicle, Electrical, Clutch, Brake, Radiators, Air
- Conditioning, Trimming, Windscreen Replacement,

- Window Tinting, Tyre Repair and Detailing Services
- Motor Vehicle Towing Services
- Office Equipment Repair Services
- Pest Control services
- Photographic Film Processing services
- Plumbing, Heating and Air Conditioning Services
- Painting, Paper Hanging and Decorating Services
- Radio and Television Repair Services
- Roofing and Sheet Metal Services
- Special Construction Trades Services
- Water Well Drilling, Irrigation and Reticulation Services
- Window and Door Treatments Installation Construction
- Trades Services
- Window Cleaning Services

Warehouse:

- Agricultural/Horticultural Products Wholesale
- Air Conditioning, Refrigeration Equipment and Supplies
- Wholesale
- Aircraft and Accessories Wholesale
- Alcoholic Beverages Wholesale
- Building Material Machinery and Equipment Retail/Wholesale
- Business Machines and Computers Wholesale
- Clothing - Wholesale
- Cold Storage and Wholesale
- Confectionery - Wholesale
- Construction Materials Wholesale
- Dairy Products - Wholesale
- Drugs, Chemical Pharmaceutical Goods and Allied
- Products Wholesale
- Wholesale Dry Goods and Apparel Wholesale
- Electrical Appliances, Electrical Apparatus Wholesale
- Electrical Goods – Wholesale
- Electronic Parts and Equipment Wholesale

- Farm Machinery and Equipment Wholesale
- Floor Coverings - Wholesale
- Footwear - Wholesale
- Fruits and Vegetables (Fresh) Wholesale
- Groceries and Related Products Wholesale
- Groceries (General Line) Wholesale
- Hardware - Wholesale
- Hardware, Plumbing, Heating Equipment and Supplies Wholesale
- Home Furnishings Wholesale
- Machinery, Equipment and Supplies Wholesale
- Machinery, Industrial Equipment Wholesale
- Marine Craft and Accessories Wholesale
- Medical and Dental Equipment Wholesale
- Milk Vendors Wholesale
- Motor Vehicle Equipment Wholesale
- Motor Vehicles and Automotive Equipment Wholesale
- Other Groceries and Related Products Wholesale
- Paint and Varnishes Wholesale
- Paper and Paper Products Wholesale
- Plumbing and Heating Equipment and Supplies Wholesale
- Poultry and Poultry products Wholesale
- Professional and Scientific Equipment Wholesale
- Red Meat and Red Meat Products Wholesale
- Seafood - Wholesale
- Sporting, Recreational Entertainment Equipment Wholesale
- Storage Services
- Textile and Yarn Goods Wholesale
- Timber and Other Building Material Retail and Wholesale
- Timber Yards Retail and Wholesale
- Tobacco Products Wholesale
- Toiletries Wholesale
- Transportation Equipment, Tyres Wholesale

4.0 Approval Procedure

- 4.1 All development or use within the Johnson Road Mixed Business Park will require planning consent (i.e. consistent with the Scheme provisions). Unless otherwise approved by the Town of Kwinana, the development plans to be submitted as part of a development application for planning consent must comply with the requirements of the *Design Guidelines* of this document.



- 4.2 Every application for planning consent shall include the following information:
- (a) Details of the use proposed for the land or buildings.
 - (b) A site plan or plans to a scale of not less than 1:200 showing: –
 - (i) the location of the site including street names, lot number(s), north point and the dimensions of the site;
 - (ii) the existing and proposed ground levels over the whole of the land the subject of the application and the location, height and type of all existing structures, and structures and vegetation proposed to be removed;
 - (iii) the location of buildings proposed to be erected on the site;
 - (iv) the existing and proposed means of access for pedestrians and vehicles to and from the site;
 - (v) the location, number, dimensions and layout of all car parking spaces intended to be provided;

- (vi) the location and dimensions of any area proposed to be provided for the loading and unloading of vehicles carrying goods or commodities to and from the site and the means of access to and from those areas;
 - (vii) the location, dimensions and design of any open storage or trade display area and particulars of the manner in which it is proposed to develop the same;
 - (viii) the nature and extent of any open space and landscaping proposed for the site; and
 - (ix) the location of any underground services lines.
- (c) Floor plans, elevations and sections of any building proposed to be erected or altered and of any building it is intended to retain.
- (d) Any other plan or information that the Town of Kwinana may reasonably require to enable the application to be determined. The following are of particular importance and should be detailed in writing or on plans (as appropriate) and submitted with the development application:
- Parking
 - Landscaping
 - Screening Measures
 - Building Height
 - Fencing
 - Building Materials
 - Colour Schedule
 - Storm Water Disposal
 - Proposed Signage
 - Lighting
 - Machinery Used
 - Service Areas
 - Loading and Unloading

5.0 Design Guidelines

- 5.1 The following guidelines apply to the all proposed development and land use within the identified 'Design Areas' of the Johnson Road Mixed Business Park as shown in Figure 3.

6.0 Design Area One - Service Industry/Warehouse (Storage and Distribution)

6.1 Minimum Setbacks and Maximum Site Cover (note figure 4)

Front Setback	Rear Setback	Side Setback	Site Cover
8 metres	Nil	Nil (unless the setback abuts a road reserve where the minimum will be 3 metres)	70%

- Setback areas shall not be used for the parking of vehicles which are being wrecked or repaired, the storage as materials, products, by-products or wastes or the storage of fuel.
- Setbacks are subject to sufficient parking, delivery, unloading bays and storage areas being provided on-site.

6.2 Car Parking

- The provision of parking shall be in accordance with Part VII of the Scheme.
- Where more extensive parking is required for larger vehicles and other machinery it shall be located at the side or rear of buildings as with staff and service vehicle parking.
- Parking areas and vehicle access ways are to be paved and drained to Town of Kwinana specifications.
- Parking areas and vehicle access ways are not to be use for storage of goods, rubbish, equipment or for industrial or automotive purposes such as wrecking and repair.



6.3 Height

- All buildings shall not be constructed where the perpendicular distance from its highest point to the natural ground level of the land on which it is to be erected exceeds 10m.

6.4 Building Materials and Facades

- All facades to buildings that face the laneway shall be constructed in brick, concrete, masonry. Other materials may be considered where it can be demonstrated that required visual standards can be achieved. Metal cladding (including colorbond ®) will generally not be accepted.
- All parapet walls are to be constructed of materials similar to the rest of the building.
- All buildings shall be designed such that they comprise an appropriate and attractive commercial built form with high quality interface with surrounding public areas.

6.5 External Storage/ Use of Outdoor Space

- Open yard areas visible from a street shall not be used for storage of goods or for vehicle repair and industrial activities. Such areas must be screened from public view.

6.6 Landscaping

To assist in achieving a common theme within the Johnson Road Mixed Business Park and for the mutual benefit of landowners and tenants the establishment and maintenance of suitable landscaping including the front verge, is required as follows:

- A minimum landscaping strip of 3 metres is required for the front boundary.
- Where landscaping is provided on the front verge the grass/lawn shall be automatically reticulated and regularly mowed and weeded.
- Native garden beds on the front verge shall be auto reticulated and regularly weeded and tended.

6.7 Fencing

Any fencing of lots shall comply with the following:

- Solid fencing or chain mesh will not be permitted to be constructed at any point forward of the building line.
- All side and rear fencing shall be located on the lot boundary at a maximum height of 1.8m with black PVC coated galvanized linkmesh (including black PVC coated poles).
- Where a boundary forms secondary street frontage a minimum 1 metre landscape strip for all secondary street frontages will be required.

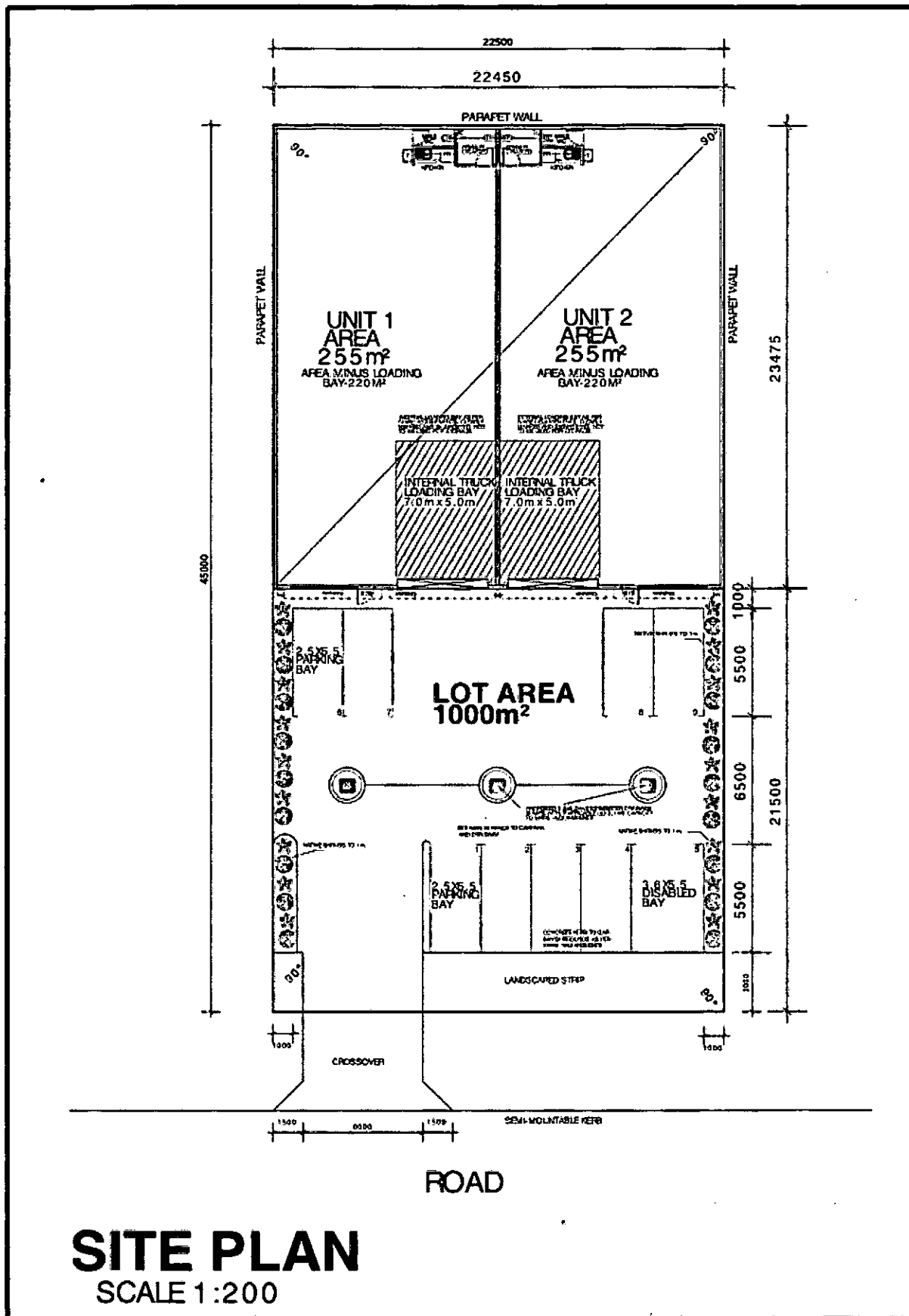


Figure 4 - Detail of Service Industry Lots



7. **Design Area Two - Showroom (Other Retail)**

7.1 Minimum Setbacks and Maximum Site Cover (note Figure 5)

Front Setback	Rear Setback	Side Setback	Site Cover
22 metres	2 metres	Nil	70%

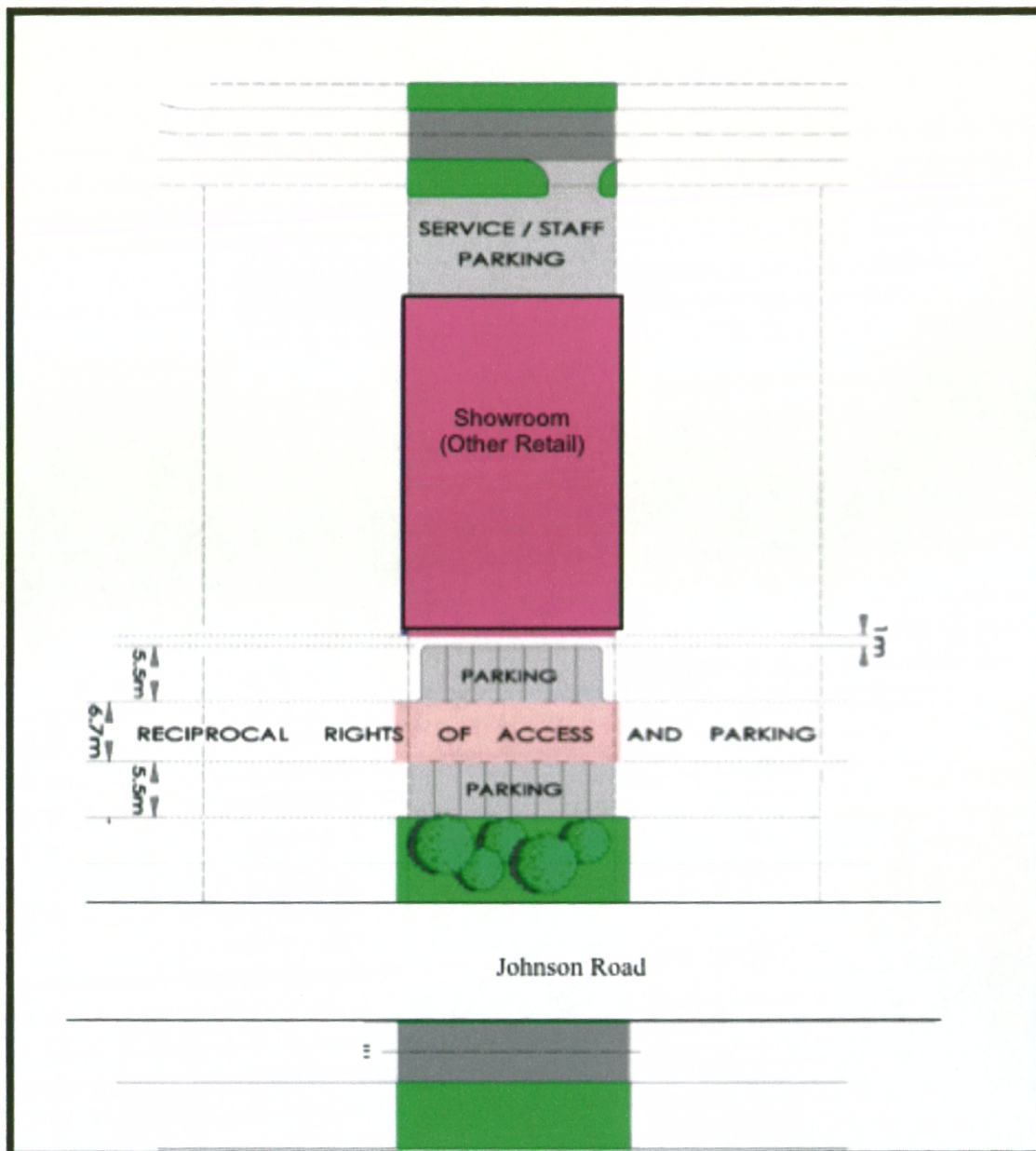


Figure 5 - Detail of Service Industry – Display Lots

- Setback areas shall not be used for the parking of vehicles which are being wrecked or repaired, the storage of materials, products, by-products or wastes or the storage of fuel, except in underground tanks.
- Nil side setbacks may be accepted on both sides of a lot subject to sufficient loading and unloading bays being provided at the rear.
- Where this cannot be achieved a side setback of 5 metres on one side of the building shall apply.

7.2 Car Parking

- The provision of parking shall be in accordance with Part VII of the Scheme.
- All delivery and loading areas shall be confined to the rear of the lot.
- Where more extensive parking is required for larger vehicles and other machinery it shall be located at the side or rear of buildings as with staff and service vehicle parking.

7.3 Parking areas and vehicle access ways are to be paved and drained to Town of Kwinana specifications and these areas are not to be used for storage of goods, rubbish, equipment or for industrial or automotive purposes such as wrecking and repair.

7.4 Access

- Public access to lots will be provided via the laneway at the front of each lot which allows for reciprocal rights of access.

7.5 Height

- All buildings shall not be constructed where the perpendicular distance from its highest point to the natural ground level of the land on which it is to be erected exceeds 10m.

7.6 Building Materials and Facades

- All buildings shall be constructed of brick, concrete and/or masonry, and shall be designed such that they comprise an appropriate and attractive showroom built form with high quality interface to Johnson Road and Thomas Road.
- Building materials, colours and window glazing shall have low reflective qualities to ensure that glare does not impact on adjacent properties or public areas, including roads and road reserves.
- All parapet walls are to be constructed of materials similar to the rest of the building.
- To improve street facades, the Town of Kwinana will discourage the use of face brick or concrete tilt panels in large expansive areas without relief by way of major openings or other measures to diminish building bulk.
- The Town of Kwinana may require that all expansive areas of raw concrete to be painted in a colour which compliments the building.
- Facades to buildings should be designed with streetscape sensitive features such as large windows, eaves, awnings, verandahs and gables in order to enhance the overall streetscape and development quality within the locality.

7.8 Landscaping

To assist in achieving a common theme within the Johnson Road Mixed Business Park and for the mutual benefit of landowners and tenants the establishment and maintenance of suitable landscaping including the front verge, is required as follows:

- A minimum landscaping strip of 3 metres is required for the front boundary and 1 metre on the side boundaries within frontage area and 1 metre between rear parking areas (including the interface with the verge).
- Where landscaping is provided on the front verge the grass/lawn shall be automatically reticulated and regularly mowed and weeded.
- Native garden beds on the front verge shall be auto reticulated and regularly weeded and tended.

7.9 Street Trees

No street trees can be removed without the prior approval of the Town of Kwinana.

- Crossovers must not interfere with existing street trees. Where a street tree requires to be removed for development, written approval must be obtained and the costs shall be borne by the owner.
- Street trees which have been removed shall be replaced with an equal number of trees of the same species, located to the satisfaction of the Town of Kwinana.

7.10 Fencing

Any fencing of lots shall comply with the following:

- Fences or walls placed forward of the building line shall be of masonry and open grill construction (e.g. masonry piers and steel picket infill) and a maximum of 1m in height.

- All side and rear fencing shall be located on the lot boundary at a maximum height of 1.8m with black PVC coated galvanized linkmesh (including black PVC coated poles).
- Where a boundary forms secondary street frontage will be required.

7.11 Preferred Land Uses

Notwithstanding the Scheme, due to the direct frontage of 'Design Area Two' to Johnson Road and Thomas Road, the following uses shall only be considered for approval:

- Amusement Centre
- Boat Sales
- Car Park
- Civic Building
- Commercial Hall
- Funeral Parlour
- Health Studio
- Liquor Store
- Local Shop
- Medical Clinic
- Non-Residential Health Centre
- Office
- Private Recreation
- Professional Office
- Public Amusement
- Public Assembly - Place Of
- Public Worship
- Recreational Facilities
- Retail Plant Nurseries
- Shop
- Showroom

- Telecommunications Infrastructure
- Vehicle Sales
- Veterinary Clinic
- Veterinary Hospital

8.0 Subdivision Requirements

The following requirements apply to subdivision of the land:

- Subdivision should generally reflect the concept plan provided in Figure 3.
- Street corners within the subdivision comprising a 10 metre by 10 metre truncation, reflective of the need for larger truncations in areas where commercial and light industrial traffic is generated;
- The existing road reserve comprising the former Armadale Rockingham Road being suitably integrated into the subdivision design;
- The cultural heritage significance of the former Armadale Rockingham Road being suitably recognised and interpreted via feature road/footpath pavement and signage of the place;
- All road reserves (not including cul de sac heads) being a minimum 20 metres wide with a minimum 7.4 metre pavement width;
- Cul de sac heads comprising a 37 metre wide road reserve, made up of a 28 metre wide pavement diameter and 4.5 metre verge area;
- A 3 metre wide dual use path being provided along the full frontage of Johnson Road and connecting in with the existing path south of the subject land;
- Proposed Lot 1 utilising the Thomas Road slip lane for a left in/left out access, and a reciprocal rights of access agreement being entered into with Lot 66 Johnson Road, Bertram (existing service station) to allow access to the Johnson Road/Thomas Road controlled intersection;
- Johnson Road being upgraded for the full extent of frontage with the subject land (including pavement, kerbing, drainage, lighting and landscaping);
- All lots within 'Design Area One' comprising a minimum 1000m² land area;

- Lots within 'Design Area Two' adjacent to Johnson Road comprising a minimum 5000m² land area and no more than two (2) lots;
- The lot within 'Design Area Two' adjacent to Thomas Road comprising a minimum 2000m² land area.

Appendix 1

Endorsed Development Guide Plan

