

Ordinary Council Meeting

25 November 2020

Agenda

Notice is hereby given of the Ordinary Meeting of Council to be held in the Council Chambers, City of Kwinana Administration Centre commencing at 5:30pm.

Wayne Jack
Chief Executive Officer

Members of the public who attend Council meetings should not act immediately on anything they hear at the meetings, without first seeking clarification of Council's position. Persons are advised to wait for written advice from the Council prior to taking action on any matter that they may have before Council.

Agendas and Minutes are available on the City's website www.kwinana.wa.gov.au

TABLE OF CONTENTS

1	Opening and announcement of visitors	4
2	Acknowledgement of country	4
3	Dedication.....	4
4	Attendance, apologies, Leave(s) of absence (previously approved).....	4
5	Public Question Time.....	4
6	Receiving of petitions, presentations and deputations:.....	5
6.1	Petitions:	5
6.2	Presentations:	5
6.3	Deputations:	5
7	Confirmation of minutes	6
7.1	Ordinary Meeting of Council held on 11 November 2020:	6
8	Declarations of Interest (financial, proximity, impartiality – both real and perceived) by Members and City Officers	6
9	Requests for leave of absence	6
10	Items brought forward for the convenience of those in the public gallery	7
11	Any business left over from previous meeting	7
12	Recommendations of committees	7
13	Enbloc reports.....	7
14	Reports - Community	7
15	Reports – Economic.....	7
16	Reports – Natural Environment.....	7
17	Reports – Built Infrastructure.....	8
17.1	Development Application: Proposed Group Dwelling – Lot 65 (20) Bingfield Road, Medina	8
17.2	Development Application: Change of Use for Use Not Specified (Small Bar) – Lot 455 Hero Crescent, Bertram	19
18	Reports – Civic Leadership	27
18.1	Monthly Financial Report October 2020.....	27
18.2	Accounts for payment for the month ended 31 October 2020	30
18.3	Budget Variations.....	33
19	Notices of motions of which previous notice has been given	37
20	Notices of motions for consideration at the following meeting if given during the meeting	37
21	Late and urgent Business.....	37
22	Reports of Elected Members	37
23	Answers to questions which were taken on notice	37
24	Mayoral Announcements.....	37
25	Confidential items	38

25.1	Proposed Disposition by way of Lease of Lot 12 (2) Stidworthy Court, Kwinana City Centre	38
26	Close of meeting	39

1 Opening and announcement of visitors

Presiding Member to declare the meeting open and welcome all in attendance.

2 Acknowledgement of country

Presiding Member to read the Acknowledgement of country

"It gives me great pleasure to welcome you all here and before commencing the proceedings, I would like to acknowledge that we come together tonight on the traditional land of the Noongar people and we pay our respects to their Elders past and present."

3 Dedication

Councillor Wendy Cooper to read the dedication

"May we, the Elected Members of the City of Kwinana, have the wisdom to consider all matters before us with due consideration, integrity and respect for the Council Chamber.

May the decisions made be in good faith and always in the best interest of the greater Kwinana community that we serve."

4 Attendance, apologies, Leave(s) of absence (previously approved)

Apologies

Leave(s) of Absence (previously approved):

5 Public Question Time

In accordance with the *Local Government Act 1995* and the *Local Government (Administration) Regulations 1996*, any person may during Public Question Time ask any question.

In accordance with Regulation 6 of the *Local Government (Administration) Regulations 1996*, the minimum time allowed for Public Question Time is 15 minutes.

A member of the public who raises a question during Question Time is to state his or her name and address.

Members of the public must provide their questions in writing prior to the commencement of the meeting. A public question time form must contain all questions to be asked and include contact details and the form must be completed in a legible form.

Please note that in accordance with Section 3.4(5) of the *City of Kwinana Standing Orders Local Law 2019* a maximum of two questions are permitted initially. An additional question will be allowed by the Presiding Member if time permits following the conclusion of all questions by members of the public.

6 Receiving of petitions, presentations and deputations:

6.1 Petitions:

A petition must -

- (a) be addressed to the Mayor;
- (b) be made by electors of the district;
- (c) state the request on each page of the petition;
- (d) contain at least five names, addresses and signatures of electors making the request;
- (e) contain a summary of the reasons for the request;
- (f) state the name of the person to whom, and an address at which, notice to the petitioners can be given; and
- (g) be respectful and temperate in its language and not contain language disrespectful to Council.

The only motion which shall be considered by the Council on the presentation of any petition are -

- a) that the petition be received;
- b) that the petition be rejected; or
- c) that the petition be received and a report prepared for Council.

6.2 Presentations:

In accordance with Clause 3.6 of the *Standing Orders Local Law 2019* a presentation is the acceptance of a gift, grant or an award by the Council on behalf of the local government or the community.

Prior approval must be sought by the Presiding Member prior to a presentation being made at a Council meeting.

Any person or group wishing to make a presentation to the Council shall advise the CEO in writing before 12 noon on the day of the meeting. Where the CEO receives a request in terms of the preceding clause the CEO shall refer it to the presiding member of the Council committee who shall determine whether the presentation should be received.

A presentation to Council is not to exceed a period of fifteen minutes, without the agreement of Council.

6.3 Deputations:

In accordance with Clause 3.7 of the *Standing Orders Local Law 2019*, any person or group of the public may, during the Deputations segment of the Agenda with the consent of the person presiding, speak on any matter before the Council or Committee provided that:

- (a) the person has requested the right to do so in writing addressed to the Chief Executive Officer by noon on the day of the meeting.
- (b) setting out the agenda item to which the deputation relates;
- (c) whether the deputation is supporting or opposing the officer's or committee's recommendation; and

6.3 DEPUTATIONS

- (d) include sufficient detail to enable a general understanding of the purpose of the deputation.

A deputation to Council is not to exceed a period of fifteen minutes, without the agreement of Council.

7 Confirmation of minutes

7.1 Ordinary Meeting of Council held on 11 November 2020:

COUNCIL DECISION

###

MOVED CR

SECONDED CR

That the Minutes of the Ordinary Meeting of Council held on 11 November 2020 be confirmed as a true and correct record of the meeting.

8 Declarations of Interest (financial, proximity, impartiality – both real and perceived) by Members and City Officers

Section 5.65(1) of the *Local Government Act 1995* states:

A member who has an interest in any matter to be discussed at a council or committee meeting that will be attended by the member must disclose the nature of the interest —

- (a) in a written notice given to the CEO before the meeting; or
- (b) at the meeting immediately before the matter is discussed.

Section 5.66 of the *Local Government Act 1995* states:

If a member has disclosed an interest in a written notice given to the CEO before a meeting then —

- (a) before the meeting the CEO is to cause the notice to be given to the person who is to preside at the meeting; and
- (b) at the meeting the person presiding is to bring the notice and its contents to the attention of the persons present immediately before the matters to which the disclosure relates are discussed.

9 Requests for leave of absence

COUNCIL DECISION

###

MOVED CR

SECONDED CR

That Councillor be granted a leave of absence from to inclusive.

10 Items brought forward for the convenience of those in the public gallery

11 Any business left over from previous meeting

12 Recommendations of committees

When the minutes or recommendations of a Committee are placed before the Council, the adoption of recommendations of the Committee is to be moved by -

- (a) the Presiding Member of the Committee if the Presiding Member is a Council member and is in attendance; or
- (b) a Council member who is a member of the Committee, if the Presiding Member of the Committee is not a Council member, or is absent; or
- (c) otherwise, by a Council member who is not a member of the Committee.

13 Enbloc reports

Nil

14 Reports - Community

Nil

15 Reports – Economic

Nil

16 Reports – Natural Environment

Nil

17 Reports – Built Infrastructure

17.1 Development Application: Proposed Group Dwelling – Lot 65 (20) Bingfield Road, Medina

DECLARATION OF INTEREST:

SUMMARY:

The City has received an application for a grouped dwelling at Lot 65 (20) Bingfield Road (the subject lot) in Medina (see Attachment A). The subject lot is zoned “Residential R12.5/20” under the City of Kwinana Local Planning Scheme No.2 (LPS2). There is an existing single house and associated outbuildings constructed on the site. The application proposes a new grouped dwelling to the rear of the house in a battle-axe configuration.

The application is referred to Council for determination as it is seeking variations to State Planning Policy 7.3 – Residential Design Codes (R-Codes) and Local Planning Policy: Residential Subdivision and Development Guidelines (LPP). LPP outlines specific planning requirements and standards to be applied to development within the suburb of Medina in recognition of its distinct character and strong sense of local community.

A number of submissions were also received objecting to the proposal. The proposal is for one additional dwelling at the rear battle-axe, whereas LPP requires any infill development to include two or more dwellings to the rear of existing houses. Also, when submitted, the proposal (see Attachment B) sought design principle assessments to the R-Codes in the form of lot boundary setbacks and visual privacy. The application was advertised for a period of 14 days to the surrounding neighbours for comment. A number of submissions were received objecting to the proposal (See Attachment D).

In response to the concerns raised in submissions, the applicant has submitted revised plans (See Attachment C). The amendments include alterations to windows which ensure that the dwelling now complies with visual privacy requirements. The window change also means that the way the lot boundary setback requirement is assessed has changed and the upper floor setback now meets Deemed-to-comply provisions. Additionally, to improve the streetscape in accordance with the LPP, both dwellings are proposed to share one crossover and the additional crossover that exists on site today is proposed to be removed. While not strictly in accordance with LPP, City Officers are satisfied the change addresses the broader objectives of the policy.

It is acknowledged that the introduction of a two storey dwelling in this location will be a change. However, as the dwelling is located to the rear of an existing dwelling and will not be presenting directly to the streetscape, its impact is not anticipated to be significant. Additionally, the site is zoned for infill development that retains the original Medina dwelling with a large street setback, and the two storey dwelling allows for a family home to be built on a small site resulting from this restriction. The proposal is considered to meet all relevant planning matters and is recommended for approval subject to conditions.

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

OFFICER RECOMMENDATION:

That Council approve a Group Dwelling at Lot 65 (20) Bingfield Road, Medina (as per Attachment C), subject to the following conditions and advice:

CONDITIONS:

- 1. Stormwater drainage from roofed and paved areas to be contained and disposed of on site at all times to the satisfaction of the City of Kwinana.**
- 2. Prior to occupation of the development, arrangements being made with the City of Kwinana, for the landowner to contribute towards the costs of providing community infrastructure as established through Amendment 145 (when gazetted) to the City of Kwinana Local Planning Scheme No.2. (DCA 15).**
- 3. Prior to occupation of the development, a Mosquito and Midge Management Strategy being prepared for the proposed group dwelling and being suitably implemented including an appropriate contribution being paid to the City of Kwinana for ongoing management costs.**
- 4. Prior to occupation of the development, the existing crossover as marked on the plans “to be removed”, shall be removed and the verge and kerb reinstated at the landowner’s cost to the satisfaction of the City of Kwinana.**
- 5. Prior to occupation of the development, the proposed new driveway and crossover shall be adequately paved and drained to the satisfaction of the City of Kwinana.**
- 6. Prior to occupation of the development, a 4m² enclosed lockable storage area is to be provided for each dwelling in accordance with *Residential Design Codes Vol.1 – 5.4.4 – C4.5*.**

ADVICE NOTES:

- i. If the development the subject of this approval is not substantially commenced within a period of two (2) years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.**
- ii. Notwithstanding advice note 1, the Minister for Planning has issued a formal notice extending the deadline for substantial commencement by an additional two (2) years for all applications approved during the current State of Emergency. In effect, this means that the timeframe for substantial commencement is now four (4) years from the date of this determination.**
- iii. Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.**

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

- iv. **If an applicant or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.**
- v. **The applicant is advised that this is not a building permit the City of Kwinana issues to enable construction to commence. A building permit is a separate Council requirement and construction cannot be commenced until a building permit is obtained.**
- vi. **The landowner is advised that the subject site is located within a bushfire prone area and additional construction requirements may apply at the Building Permit application stage in accordance with Australian Standard 3959 - Construction of buildings in bushfire-prone areas. A Bushfire Attack Level (BAL) assessment may need to accompany the Building Permit application.**
- vii. **The applicant should ensure the proposed development complies with all other relevant legislation, including but not limited to, the *Environmental Protection Act* and *Environmental Protection (Noise) Regulations 1997*, *Health (Miscellaneous Provisions) Act 1911* and Regulations, *Sewerage (Lighting Ventilation & Construction) Regulations 1971* and the National Construction Code.**
- viii. **The applicant shall contact the City of Kwinana's engineering services prior to commencing any works in the road reserve.**

DISCUSSION:

Land Status

Local Planning Scheme No. 2: Residential R12.5/20

Metropolitan Region Scheme: Urban

Proposal

The City has received an application for a grouped dwelling at Lot 65 (20) Bingfield Road, Medina (subject lot). (Refer to Attachments A, B and C). The subject lot is 910m² in size and is zoned Residential R12.5/20 under the City's LPS2.

The grouped dwelling is proposed to be located behind an existing single house on the lot. A review of aerial photographs shows that the existing house has been on site since the mid 1960's. The new grouped dwelling is proposed to be two storeys in height. An existing shed on the property will be required to be demolished in order to accommodate the proposed development. Access is proposed to be taken from a single driveway shared between the existing and proposed dwellings.

The initial application plans proposed the following variations to the local planning framework:

- The proposed windows facing southeast from bedroom 2 provide a 2.75m visual privacy setback in lieu of 4.5m under the visual privacy provisions of the R-Codes.

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

- The Balcony provides a 4m visual privacy setback in lieu of 7.5m under of the visual privacy provisions of the R-Codes.
- The setback of south western upper floor wall is proposed to be setback 2.75m in lieu of 3.3m under the lot boundary setback requirements of the R-Codes.
- The proposal presents as a battle-axe subdivision with only one dwelling. LPP includes a provision that requires at least two new rear dwellings share a driveway.

The proposal was advertised to the neighbouring properties for comment and five submissions have been received (Attachment D). A Summary of the submissions and the City Officer's response is provided as follows.

Summary of Main Issue	Officer Comment.
The proposed upper floor bedroom 2 windows overlook into the rear backyard areas.	Supported. The applicant has responded to overlooking and have altered any major openings to no longer trigger overlooking
Battle-Axe subdivision should not be supported under the Residential Subdivision and Design Guidelines (LPP).	<p>Noted. It is understood the application does not meet provision 2.2.3 of the LPP for Medina, however City Officers take the view that the objectives of LPP have been addressed through the submission of revised plans proposing a single access leg.</p> <p>It should also be noted that the City has limited control on subdivision given the West Australian Planning Commission (WAPC) is the determining authority and single lot battle-axe subdivision is permissible under the R-Codes. The City will however seek to introduce the policy provisions for battle-axe subdivision into the City's new Local Planning Scheme No 4 as a requirement. This will then bind the WAPC, as part of its subdivision approvals, to apply the LPP provisions for Medina (so aligning with the City's intent).</p>
Proposed Two Storey Dwelling is not keeping in line with the existing single storey nature of Medina.	Not Supported. As above, the LPP prefers that two storey development is located to the rear of the lot. The policy further allows development to be constructed to 7.5m in total height; indicative of two storey development.
The proposed two-storey dwelling will cause overshadowing into the adjoining southern lots.	Not Supported. The proposed development was assessed against the "Solar Access for Adjoining Sites" provision of the R-Codes. The proposal overshadows a total of 92 square metres across 3 lots to the south, which is under the 25% for each adjoining site's lot area
Land value of property will be affected.	Not supported. Not a planning matter which is considered under Clause 67 of the <i>Planning and Development Regulations 2015</i> (Matters To Be Considered)

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

Following advertising, the applicant chose to amend the design to address the concerns of submitters. Specifically:

- The upper floor windows to bedroom 2 were altered to be highlight windows above 1.6m from the finished floor level. This means that there is no longer a visual privacy intrusion. (See figures below)
- The change to the window, means that the method for calculating the lot boundary setback changes. As the window is smaller with less impact, the upper floor wall therefore meets the deemed-to-comply provision for lot boundary setbacks.

Figure 1 - Original Plan

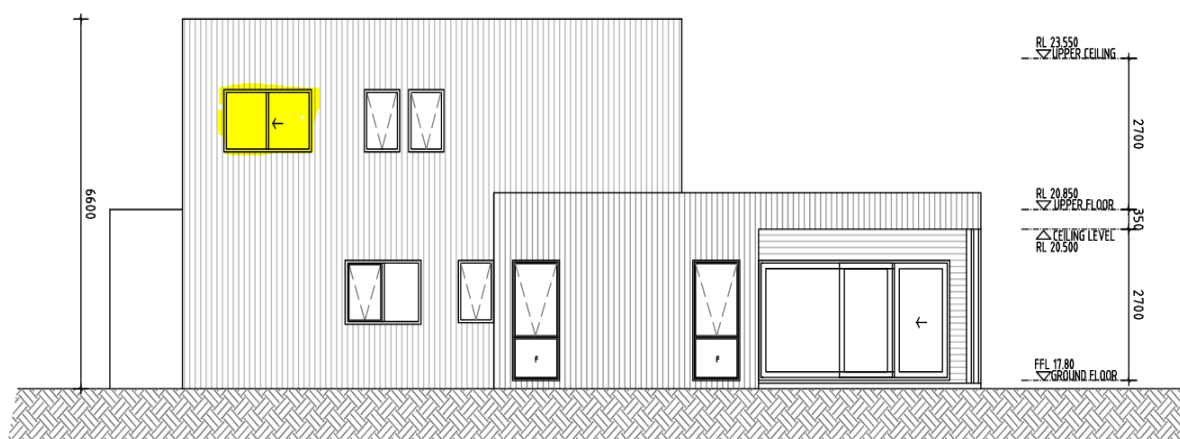
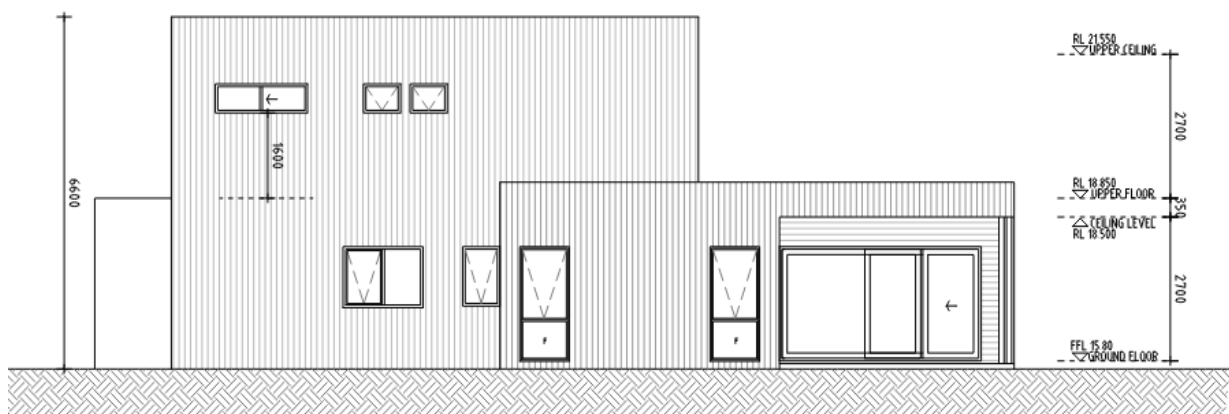


Figure 2 - Amended Plan



The application, as amended, still presents variations to the LPP and R-Codes for the following elements:

- Overlooking from the upper floor balcony on the adjoining western neighbour.
- One dwelling to the rear battle-axe in lieu of two or more.

The application complies with all other elements of the planning framework.

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

Residential Subdivision and Design Guidelines – Battle-axe Subdivision

Local planning policies will generally include a set of objectives and detailed provisions (i.e. clauses). The objectives are broad design statements that explain what the detailed provisions are setting out to achieve.

For development in the Medina area, Clause 2.2.3 of LPP outlines requirements for infill development as follows:

Where battle-axe subdivision configurations are proposed then a minimum of two rear houses or lots are required to be accessed by the battle-axe leg. Battle-axe subdivision configurations will not be supported where the battle-axe leg accesses only one rear house or lot (note that these allowances do not include access being provided to the front lot with direct street frontage).

This requirement is not being met as part of this application. However, one of the key objectives of this policy for infill development is:

To encourage battle-axe subdivision configurations where they represent the most logical subdivision outcome available for an adequately sized site and where the access leg services a minimum of two rear houses or lots in order to minimise vehicular crossovers and to maintain the existing spatial relationships for existing or new houses fronting the street.

The existing house currently has two crossovers of which have been on site since the early 2000's. The initial plans showed the retention both crossovers. Following the receipt of submissions, the applicant opted to update the proposal by deleting one of the crossovers and having a shared arrangement for both dwellings from the same driveway. This is a positive improvement on the current situation, and allows for revegetation and a reduction in hard surfaces in the verge which is the intent of encouraging developments to share one access leg between two rear properties.

The adjoining property at Lot 64 (18) Bingfield Road, has sufficient room to subdivide and construct an access leg abutting this proposed development at Lot 65 (20) Bingfield Road. This means that there is potential for a shared crossover to be constructed sometime in the future. As both properties are in separate ownership, it is not reasonable to expect the other owners to propose a new grouped dwelling at this time, but the design on No. 20 does not jeopardise the ability to further consolidate access for the properties down to one between four as per Figure 1 of the Policy.

The *Planning and Development (Local Planning Schemes) Regulations 2015* (the Regulations), advise that regard is to be given to local planning policies. It is worth noting that pursuant to the R-Codes, which is the key state government document for residential assessment, the rear dwelling could have its own battle-axe leg and the front house a separate access point. City Officers take the view that this proposal is considered to be a reasonable compromise between the two documents.

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

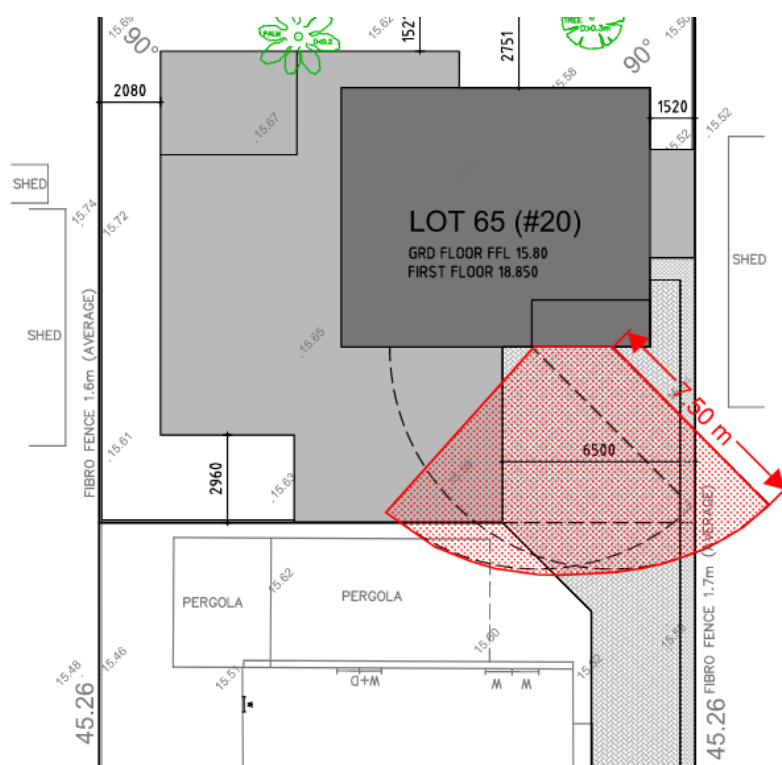
It should be noted that officers of the Department of Planning, Lands and Heritage (DPLH) have advised City Officers previously that for subdivision in Medina, they would not be bound necessarily by the City's LPP but apply the R-Codes. They also advised that should the City seek to enforce the LPP provisions for battle-axe subdivision, that it should be a matter addressed as part of the City's Local Planning Strategy and new Local Planning Scheme. Should it be included in the new scheme, then this would effectively bind the WAPC to meet the objectives for the retention of streetscape and character for Medina. City Officers are intending to include such requirements and provisions as part of the Local Planning Strategy and accompanying new local planning scheme.

Having due consideration of the relevant sub-clauses of cl67 of Schedule 2 of the *Planning and Development (Local Planning Schemes) Regulations 2015*, it is considered that the proposed group dwelling will not have a significant impact on the prevailing and desired development of the surrounding area. The proposal does not affect the streetscape and local character given it is located behind an existing dwelling with a large setback.

The access arrangement is acceptable having regard to the objectives of the policy and the Regulations.

State Planning Policy 7.3 Residential Design Codes Vol1 – C15.4.1 – Visual Privacy

The application proposes a variation to C15.4.1 – Visual Privacy of the R-Codes. The upper floor balcony is an active habitable space as defined by the R-Codes, which requires a visual privacy assessment. A “cone of vision” (see Figures below) onto the adjoining western property has been provided to the City illustrating a visual privacy setback of 4m within the subject lot in lieu of the deemed to comply requirement of 7.5m.



17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA



Figure 5 - Impacted area of Overlooking
Figure 4 - 7.5m Cone of vision

Where a deemed-to-comply requirement is not met, the variation is required to be assessed in accordance with the relevant design principles. The design principles for visual privacy are as follows:

P1.1 Minimal direct overlooking of active habitable spaces and outdoor living areas of adjacent dwellings achieved through:

- *building layout and location;*
- *design of major openings;*
- *landscape screening of outdoor active habitable spaces; and/or*
- *location of screening devices.*

P1.2 Maximum visual privacy to side and rear boundaries through measures such as:

- *offsetting the location of ground and first floor windows so that viewing is oblique rather than direct;*
- *building to the boundary where appropriate;*
- *setting back the first floor from the side boundary;*
- *providing higher or opaque and fixed windows; and/or*
- *screen devices (including landscaping, fencing, obscure glazing, timber screens, external blinds, window hoods and shutters).*

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

The proposed balcony layout is considered acceptable because it includes screening to portions of the balcony in the direction facing the western neighbour. The opening to the balcony is therefore offset and the cone of vision will impact on a small portion of the adjoining property that is not considered to be the primary outdoor living area and is used for vehicle access to the rear of the adjoining property. The neighbour who is affected did not return any comment on the variation.

The variation meets the design principles of the R-codes and is therefore supported.

It should be noted that a small portion of the cone of vision also extends on to the existing property's pergola area (owned by the applicant) however the visual privacy requirements do not apply to this area as it forms part of the parent lot.

CONCLUSION:

The proposal for the group dwelling meets the objectives and intent of planning requirements albeit not strictly complying with the LPP. It is acknowledged that the introduction of a dwelling at the rear will be a change, however it is not considered to significantly impact on the amenity of the neighbouring properties or streetscape. The applicant has responded to the concerns raised in submissions in the form of design changes in an attempt to reduce impacts on neighbours. After a thorough review of the changes against planning provisions, the application is therefore recommended for approval subject to conditions.

LEGAL/POLICY IMPLICATIONS:

For the purpose of Councillors considering a financial or impartiality interest only, the applicant and owner is Chris Sungbong Kim and Seon Hee Kwon.

The following strategic and policy-based documents were considered in assessing the application;

Legislation

Planning and Development Act 2005;

Planning and Development (Local Planning Schemes) Regulations 2015

Schemes

Metropolitan Region Scheme;

City of Kwinana Local Planning Scheme No.2

Policies

State Planning Policy 7.3 Residential Design Codes Vol.1

Local Planning Policy - Residential Subdivision and Design Guidelines

FINANCIAL/BUDGET IMPLICATIONS:

There are no financial implications as a result of this report.

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA**ASSET MANAGEMENT IMPLICATIONS:**

There are no asset management implications as a result of this report.

ENVIRONMENTAL IMPLICATIONS:

There are no environmental implications as a result of this report.

STRATEGIC/SOCIAL IMPLICATIONS:

This proposal will support the achievement of the following outcome and objective detailed in the Strategic Community Plan.

Plan	Outcome	Objective
Strategic Community Plan	A well planned City	4.4 Create diverse places and spaces where people can enjoy a variety of lifestyles with high levels of amenity.

COMMUNITY ENGAGEMENT:

The variations were advertised in accordance with the Residential Design Codes for a minimum of 14 days to the adjoining neighbours.

Five submissions were received and have been attached to this report (See Attachment D).

PUBLIC HEALTH IMPLICATIONS:

The proposal has the potential to help improve the following determinants of health

- Socio-economic Factors – Employment and Income (Construction)

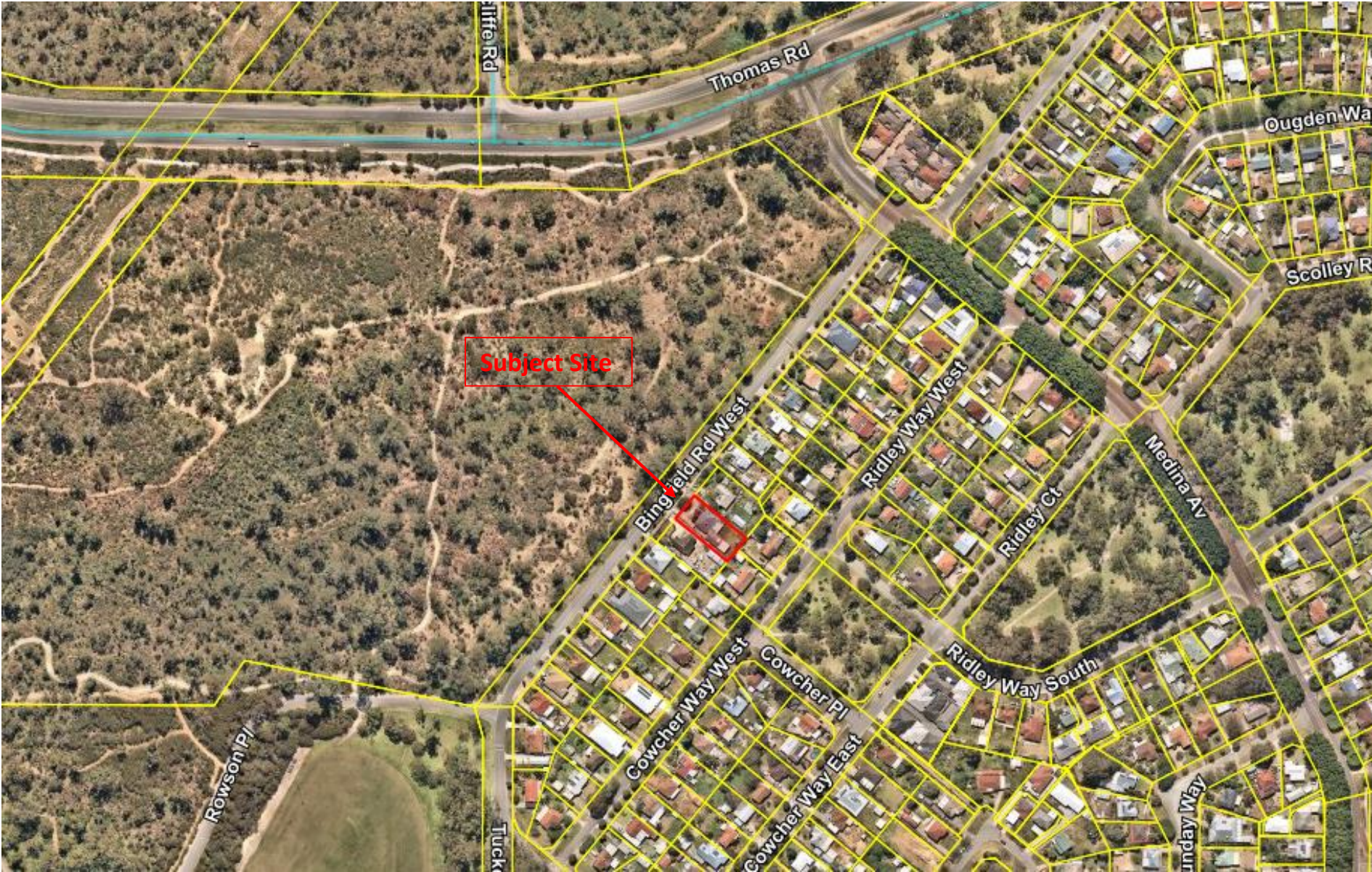
RISK IMPLICATIONS:

The risk implications in relation to this proposal are as follows:

Risk Event	Appeal of Council's decision on the development application.
Risk Theme	Failure to fulfil statutory regulations or compliance requirements Providing inaccurate advice/ information.
Risk Effect/Impact	Reputation Compliance

17.1 DEVELOPMENT APPLICATION: PROPOSED GROUP DWELLING – LOT 65 (20) BINGFIELD ROAD, MEDINA

Risk Assessment Context	Strategic
Consequence	Minor
Likelihood	Possible
Rating (before treatment)	Moderate
Risk Treatment in place	Reduce - mitigate risk
Response to risk treatment required/in place	<ul style="list-style-type: none"> - Work instructions in place and checklists used when assessing the application. - Communicate with relevant external agencies when assessing the application. - Compliance of the proposal with LPS2 and relevant City policies. - Liaising with the proponent throughout the application process.
Rating (after treatment)	Low



ATTACHMENT B - Initial Development Plans



CONTENT:

A000. COVER PAGE
A100. EXISTING SURVEY & PROPOSED SUBDIVISIONS PLANS
A101. PROPOSED SITE & ROOF PLANS
A102. GROUND & FIRST FLOOR PLANS
A200. ELEVATIONS

- GENERAL NOTES:
1. THESE DRAWINGS CAN'T BE USED WITHOUT A WRITTEN CONSENT OF THE AUTHOR.
 2. THESE DRAWING ARE PREPARED FOR BUILDING PERMIT ONLY AND SHALL BE DEVELOPED PRIOR TO CONSTRUCTION.
 3. PLEASE NOTE THAT WHILE ALL CARE WAS TAKEN IN PREPARING THIS SET OF PLANS & ELEVATIONS ANY CONSTRUCTION WORK SHOULD BE RE-CHECKED BEFORE COMMENCING ANY WORK TO ENSURE ACCURACY.
 4. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.
 5. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENERGY EFFICIENCY CONSULTANTS REPORT.
 6. ROOM SIZES MAY VARY DUE TO BRICK SELECTION/ MANUFACTURER REQUIREMENTS.
 7. NUMBER & POSITION OF DOWNPIPES ARE TO PLUMBING DETAILS.
 8. CABINET MAKER TO CONFIRM EXACT SIZES OF APPLIANCES CUPBOARDS WITH OWNER PRIOR TO CONSTRUCTION.
 9. A TERMITE MANAGEMENT SYSTEM WILL BE INSTALLED TO AS 3660.1. THE SYSTEM WILL INCLUDE PENETRATION PROTECTION AND IF APPLICABLE REPLENISHABLE VIA A RETICULATION SYSTEM PROVIDING AN EVEN AND CONTINUOUS DISTRIBUTION OF CHEMICAL TO THE SOIL.
 10. GUTTERS AND DOWNPIPES WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ONE OF THE FOLLOWING:
(a) AS/NZS 3500.3
(b) SECTION 5 OF AS/NZS 3500.5
 11. SMOKE DETECTORS WILL BE HARDWIRED AND INTERCONNECTED.
 12. WET AREAS AND WATERPROOFING WILL COMPLY WITH AS 3740.
 13. STORMWATER AND SURFACE WATER DRAINAGE WILL COMPLY WITH NCC PART 3.12 AND LOCAL GOVERNMENT REQUIREMENTS.

DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
DC1	SKETCH- CLIENT REVIEW	HO	04.09.20
REV.	DESCRIPTION:	BY:	DATE:

STATUS: BUILDING PERMIT DEMO



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CLIENT:
SONI & CHRIS KIM
PROJECT:
PROPOSED DOUBLE STOREY HOUSE
ADDRESS:
LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA

DRAWN: HEC/HO	CHECKED: H.O	INIT.DATE: 24.08.20	REVISION: DC4
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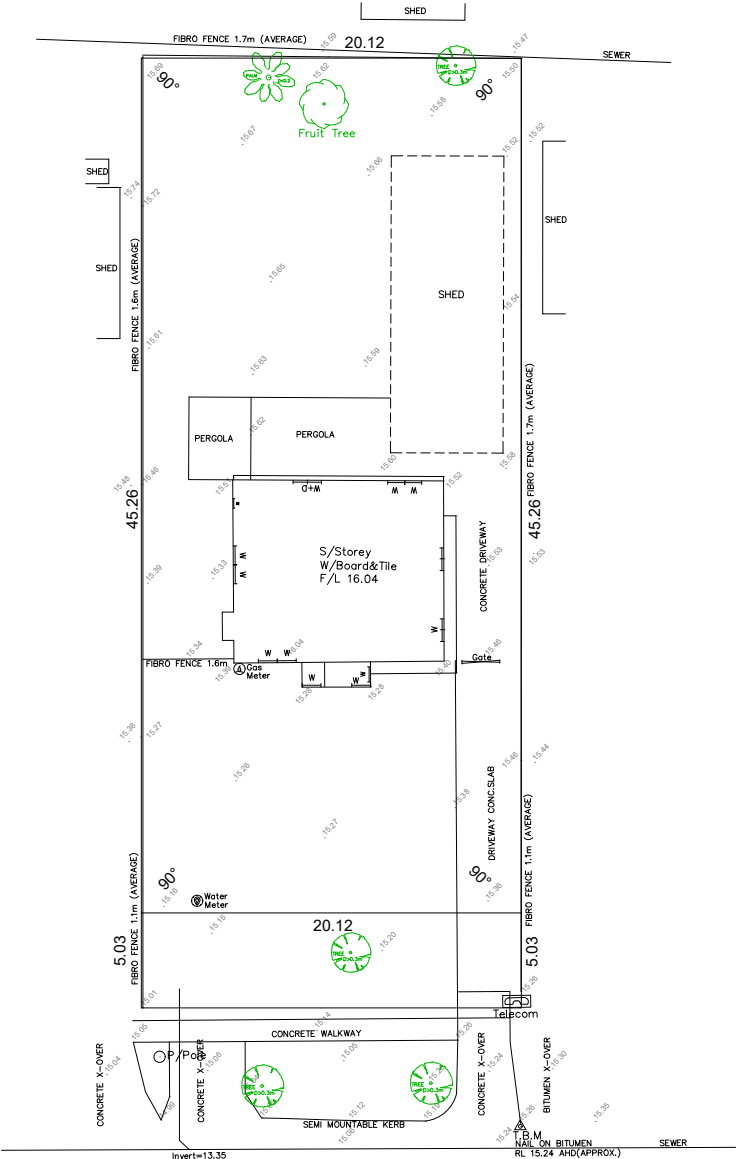
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TITLE:
COVER PAGE

SCALE: N1S	SHEET SIZE: A2	SHEET NO: A000
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PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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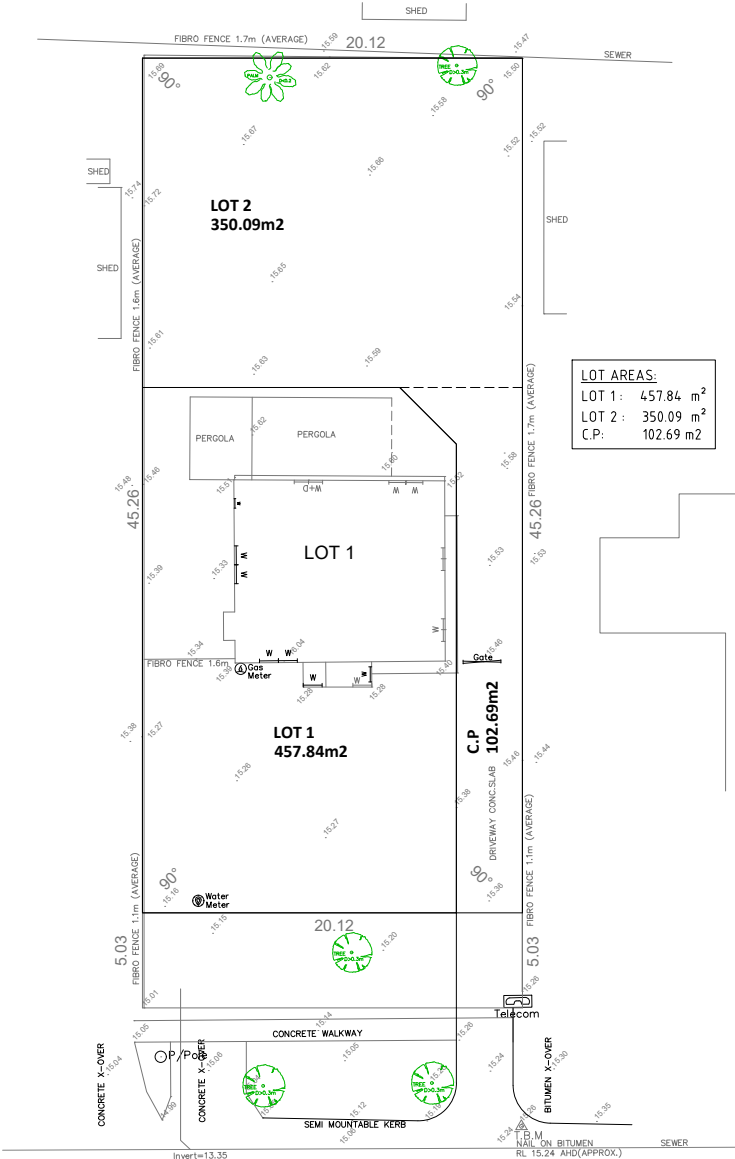
FILE NO:
21/SONI

ATTACHMENT B - Initial Development Plans



BINGFIELD ROAD WEST

EXISTING SURVEY PLAN
SCALE 1:200



BINGFIELD ROAD WEST

PROPOSED SUBDIVISION PLAN
SCALE 1:200

LOT AREAS:	
LOT 1:	457.84 m ²
LOT 2:	350.09 m ²
C.P:	102.69 m ²

- GENERAL NOTES:
1. THESE DRAWINGS CAN'T BE USED WITHOUT A WRITTEN CONSENT OF THE AUTHOR.
 2. THESE DRAWINGS ARE PREPARED FOR BUILDING PERMIT ONLY AND SHALL BE DEVELOPED PRIOR TO CONSTRUCTION.
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 4. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS.
 5. THESE PLANS ARE TO BE READ IN CONJUNCTION WITH ENERGY EFFICIENCY CONSULTANTS REPORT.
 6. ROOM SIZES MAY VARY DUE TO BRICK SELECTION/ MANUFACTURER REQUIREMENTS.
 7. NUMBER & POSITION OF DOWNPIPES ARE TO PLUMBING DETAILS.
 8. CABINET MAKER TO CONFIRM EXACT SIZES OF APPLIANCES CUPBOARDS WITH OWNER PRIOR TO CONSTRUCTION.
 9. A TERMITE MANAGEMENT SYSTEM WILL BE INSTALLED TO AS 3660.1 THE SYSTEM WILL INCLUDE PENETRATION PROTECTION AND IF APPLICABLE REPLENISHABLE VIA A RETICULATION SYSTEM PROVIDING AN EVEN AND CONTINUOUS DISTRIBUTION OF CHEMICAL TO THE SOIL.
 10. GUTTERS AND DOWNPIPES WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH ONE OF THE FOLLOWING:
 - (a) AS/NZS 3500.3
 - (b) SECTION 5 OF AS/NZS 3580.5
 11. SMOKE DETECTORS WILL BE HARDWIRED AND INTERCONNECTED.
 12. WET AREAS AND WATERPROOFING WILL COMPLY WITH AS 3740.
 13. STORMWATER AND SURFACE WATER DRAINAGE WILL COMPLY WITH NCC PART 3.12 AND LOCAL GOVERNMENT REQUIREMENTS.

DC4 PLANNING APPLICATION	HO	29.09.20
DC3 PLANNING REVIEW	HO	22.09.20
DC2 CLIENT CHANGES	HO	11.09.20
DC1 SKETCH- CLIENT REVIEW	HO	04.09.20

REV:	DESCRIPTION:	BY:	DATE:

STATUS: BUILDING PERMIT DEMO



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CLIENT:
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PROJECT:
PROPOSED DOUBLE STOREY HOUSE

ADDRESS:
LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA

DRAWN: HEC/HO	CHECKED: H.O	INITIALS: 24.08.20	REVISION: DC4
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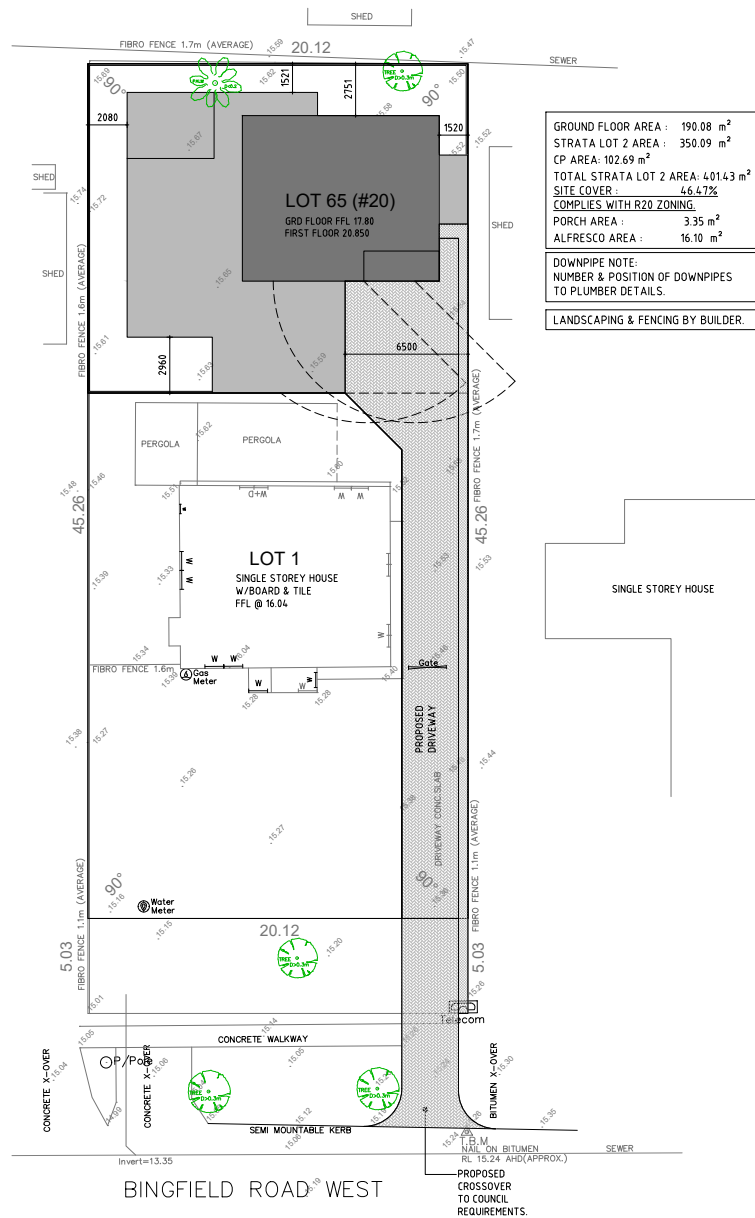
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TITLE:
EXISTING SURVEY & PROPOSED SUBDIVISION PLANS

SCALE: N1S	SHEET SIZE: A2	SHEET NO: A100
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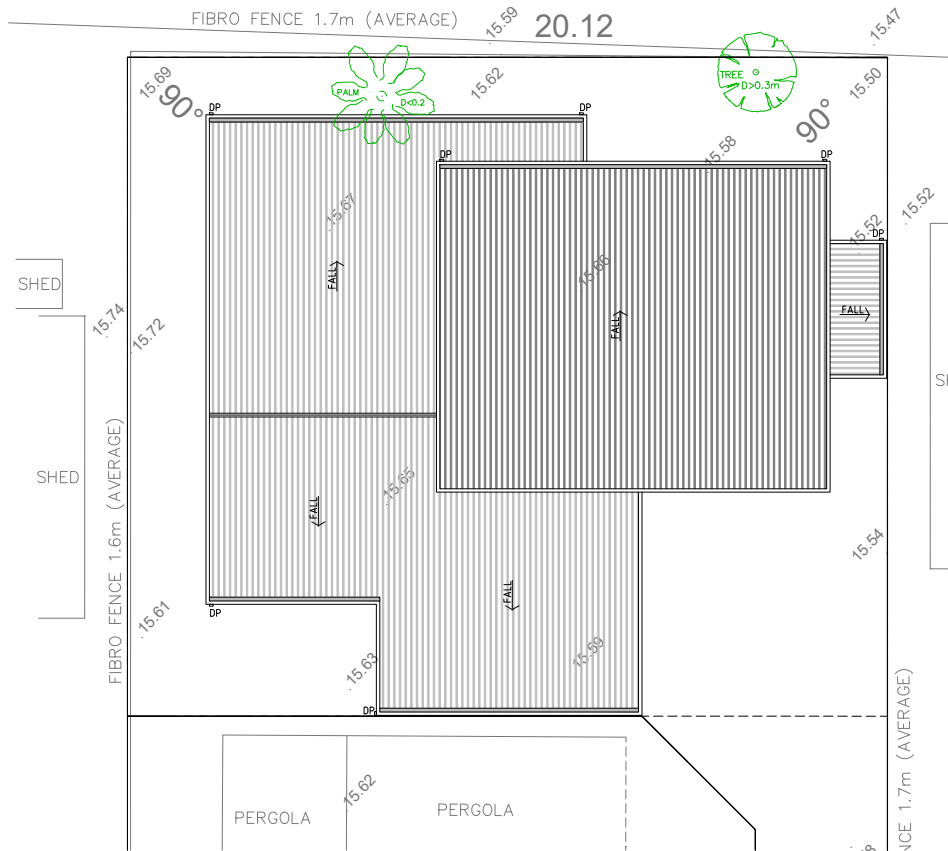
PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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FILE NO: 21/SONI

ATTACHMENT B - Initial Development Plans



PROPOSED SITE PLAN
SCALE 1:200



PROPOSED ROOF PLAN
SCALE 1:100

DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
DC1	SKETCH- CLIENT REVIEW	HO	04.09.20
REV:	DESCRIPTION:	BY:	DATE:
STATUS: BUILDING PERMIT DEMO			

CLIENT:
SONI & CHRIS KIM

PROJECT:
PROPOSED DOUBLE STOREY HOUSE

ADDRESS:
LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA

DRAWN: HEC/H.O	CHECKED: H.O	INIT.DATE: 24.08.20	REVISION: DC4
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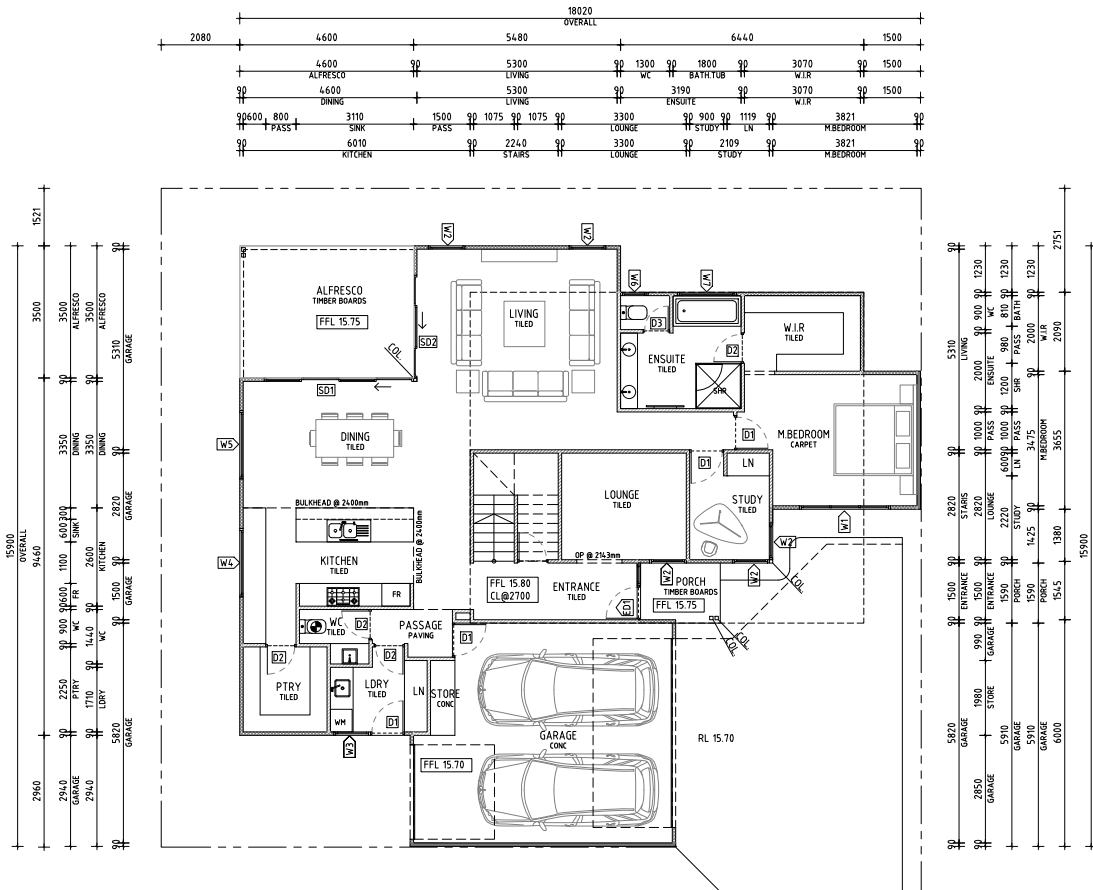
DRAWING
TITLE:
PROPOSED SITE & ROOF PLANS

SCALE: NTS	SHEET SIZE: A2	SHEET NO: A101
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PROJECT NO:	2102	STATUS:	DESIGN CONCEPT
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FILE NO: 21/SONI

ATTACHMENT B - Initial Development Plans



GROUND FLOOR PLAN
SCALE 1:100

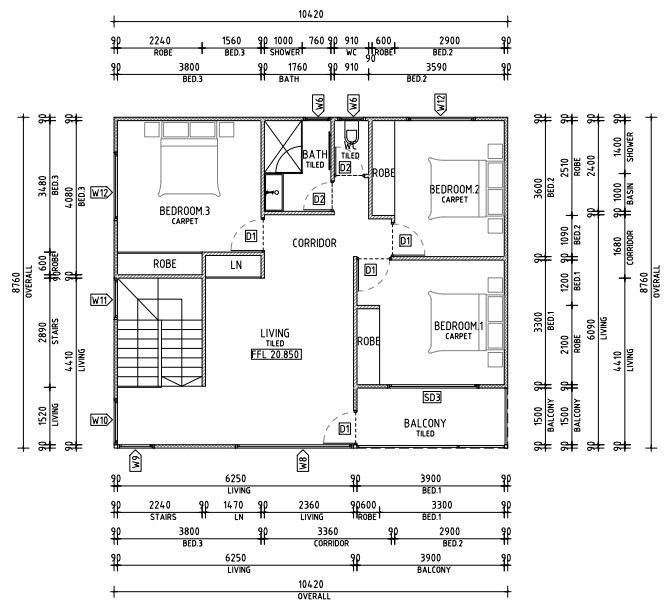
GROUND FLOOR AREAS:	
HOUSE AREA :	188.69 m ²
ENCLOSED PORCH AREA:	139 m ²
TOTAL COVERED AREA:	190.08
ALFRESCO AREA:	16.10 m ²
TOTAL PORCH AREA:	03.35 m ²

	HARDIESMART WALL - FRL 60/60/60
	90mm TIMBER STUD WALL WITH PLASTERBOARD INTERNALLY, JAMES HARDIE CLADDING EXTERNALLY
	90mm TIMBER STUD WALL WITH PLASTERBOARD INTERNALLY & EXTERNALLY

FIRST FLOOR PLAN
SCALE 1:100

FIRST FLOOR AREAS:	
HOUSE AREA :	84.93 m ²
BALCONY AREA :	06.34 m ²
TOTAL AREA :	91.27 m ²

	90mm TIMBER STUD WALL WITH PLASTERBOARD INTERNALLY, JAMES HARDIE CLADDING EXTERNALLY
	90mm TIMBER STUD WALL WITH PLASTERBOARD INTERNALLY & EXTERNALLY



DC4 PLANNING APPLICATION	HO	29.09.20
DC3 PLANNING REVIEW	HO	22.09.20
DC2 CLIENT CHANGES	HO	11.09.20
DC1 SKETCH-CLIENT REVIEW	HO	04.09.20
REV. DESCRIPTION:	BY:	DATE:
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CLIENT: SONI & CHRIS KIM		
PROJECT: PROPOSED DOUBLE STOREY HOUSE		
ADDRESS: LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA		

DRAWN: HEC/HO	CHECKED: H.O.	INITIATE: 24.08.20	REVISION: DC4
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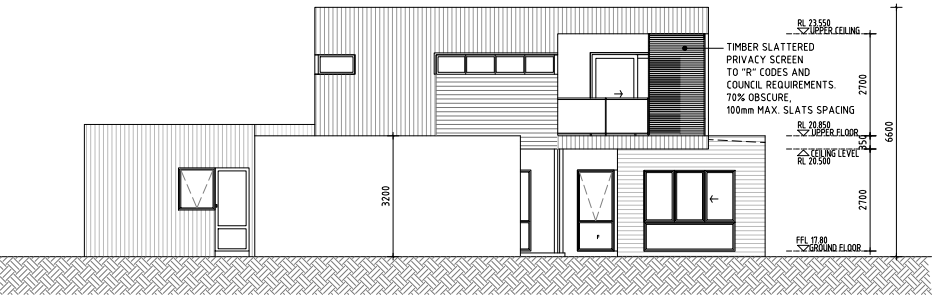
DRAWING TITLE: GROUND & FIRST FLOOR PLANS

SCALE: N.T.S.	SHEET SIZE: A2	SHEET NO: A102
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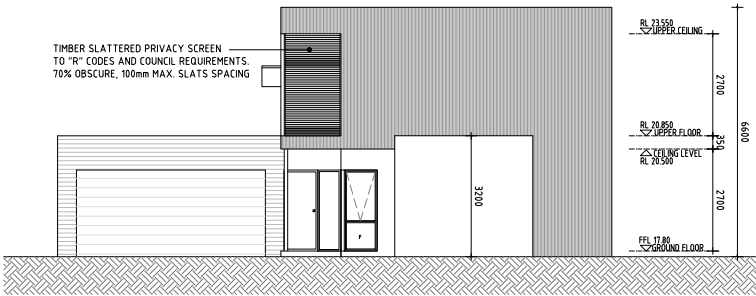
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FILE NO: 21/SONI

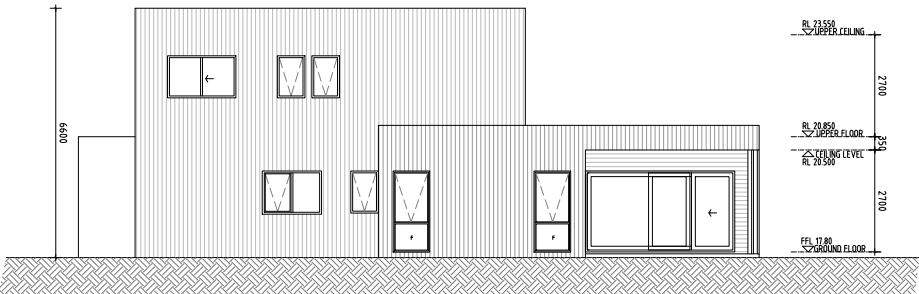
ATTACHMENT B - Initial Development Plans



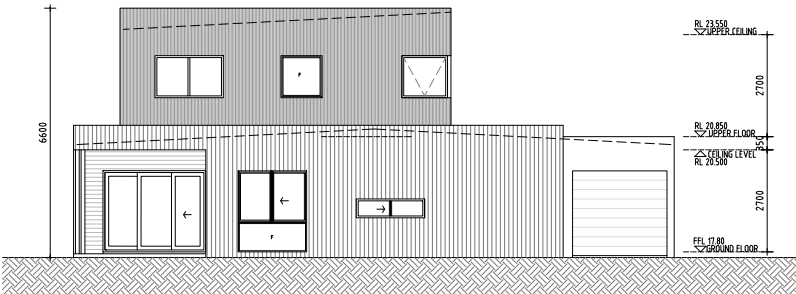
ELEVATION E1
SCALE 1:100



ELEVATION E2
SCALE 1:100



ELEVATION E3
SCALE 1:100



ELEVATION E4
SCALE 1:100

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 13. STORMWATER AND SURFACE WATER DRAINAGE WILL COMPLY WITH NEC PART 3.12 AND LOCAL GOVERNMENT REQUIREMENTS.

DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
DC1	SKETCH- CLIENT REVIEW	HO	04.09.20
REV.	DESCRIPTION:	BY:	DATE:
STATUS: BUILDING PERMIT DEMO			



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PROJECT:
PROPOSED DOUBLE STOREY HOUSE

ADDRESS:
LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA

DRAWN: HEC/HO	CHECKED: H.O	INIT. DATE: 24.08.20	REVISION: DC4
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DRAWING
TITLE:
ELEVATIONS

SCALE: N1S	SHEET SIZE: A2	SHEET NO: A200
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PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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FILE NO: 21/SONI



CONTENT:

- A000. COVER PAGE
- A100. EXISTING SURVEY & PROPOSED SUBDIVISIONS PLANS
- A101. PROPOSED SITE & ROOF PLANS
- A102. GROUND & FIRST FLOOR PLANS
- A200. ELEVATIONS

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13. STORMWATER AND SURFACE WATER DRAINAGE WILL COMPLY WITH NCC PART 3.1.2 AND LOCAL GOVERNMENT REQUIREMENTS.

DC5	PLANNING CHANGES	HO	30.10.20
DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
DC1	SKETCH- CLIENT REVIEW	HO	04.09.20
REV:	DESCRIPTION:	BY:	DATE:

STATUS: BUILDING PERMIT DEMO



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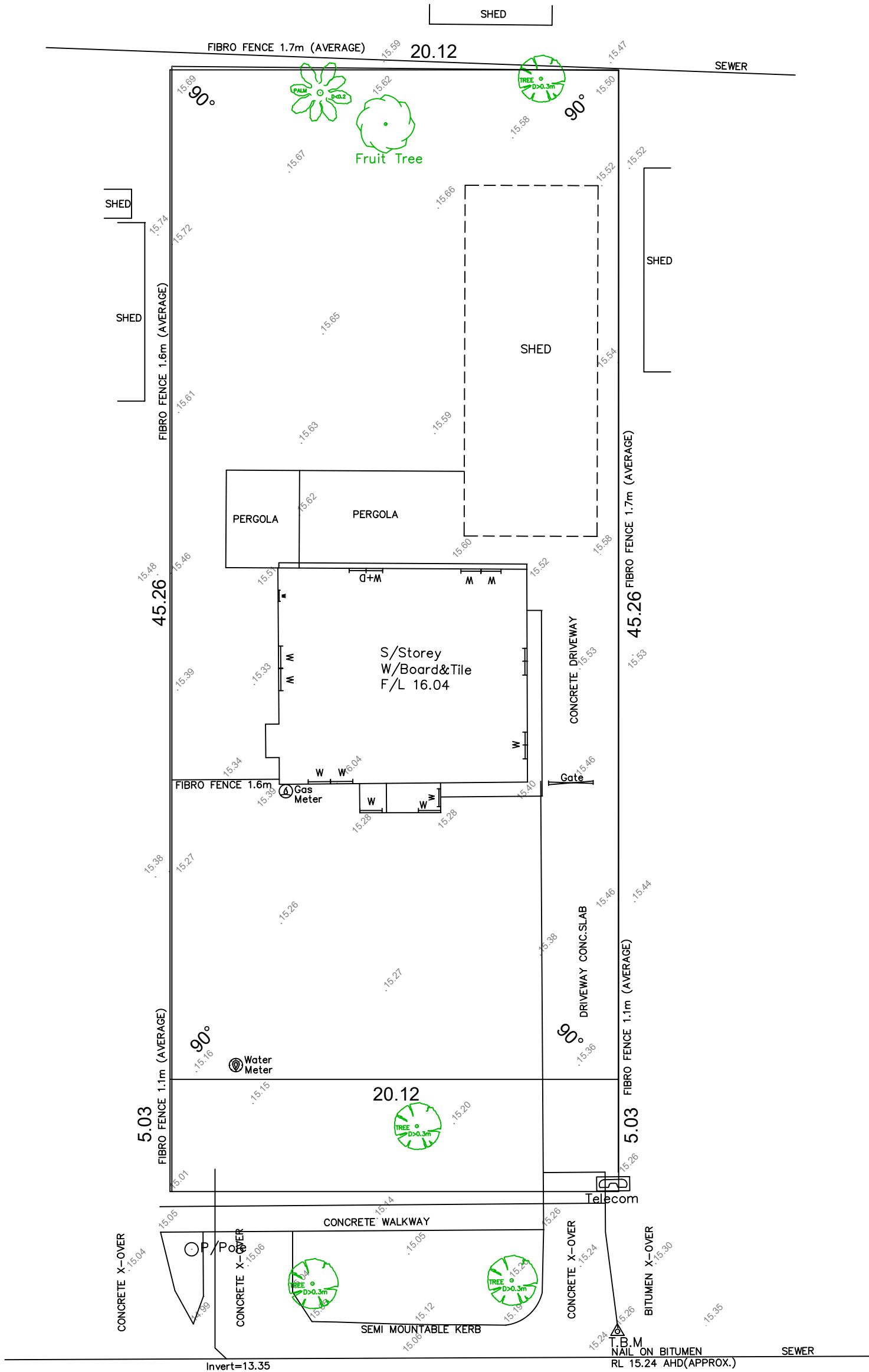
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DRAWING
TITLE:
COVER PAGE

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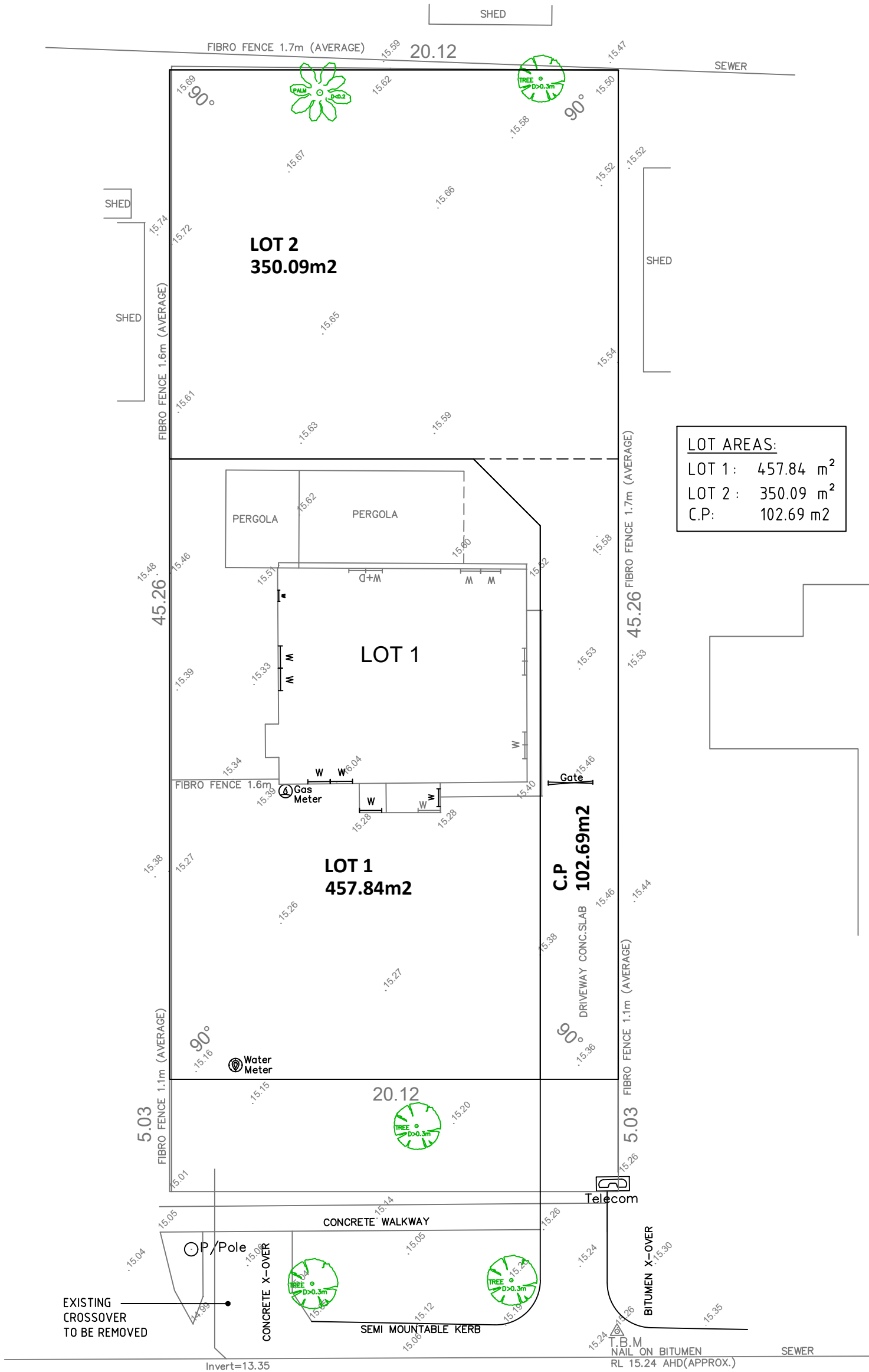
PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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FILE NO: 21/SONI



BINGFIELD ROAD WEST

EXISTING SURVEY PLAN
SCALE 1:200



BINGFIELD ROAD WEST

PROPOSED SUBDIVISION PLAN
SCALE 1:200

LOT AREAS:
LOT 1: 457.84 m²
LOT 2: 350.09 m²
C.P: 102.69 m²

DC5	PLANNING CHANGES	HO	30.10.20
DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
DC1	SKETCH- CLIENT REVIEW	HO	04.09.20
REV:	DESCRIPTION:	BY:	DATE:
STATUS: BUILDING PERMIT DEMO			



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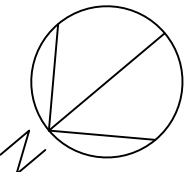
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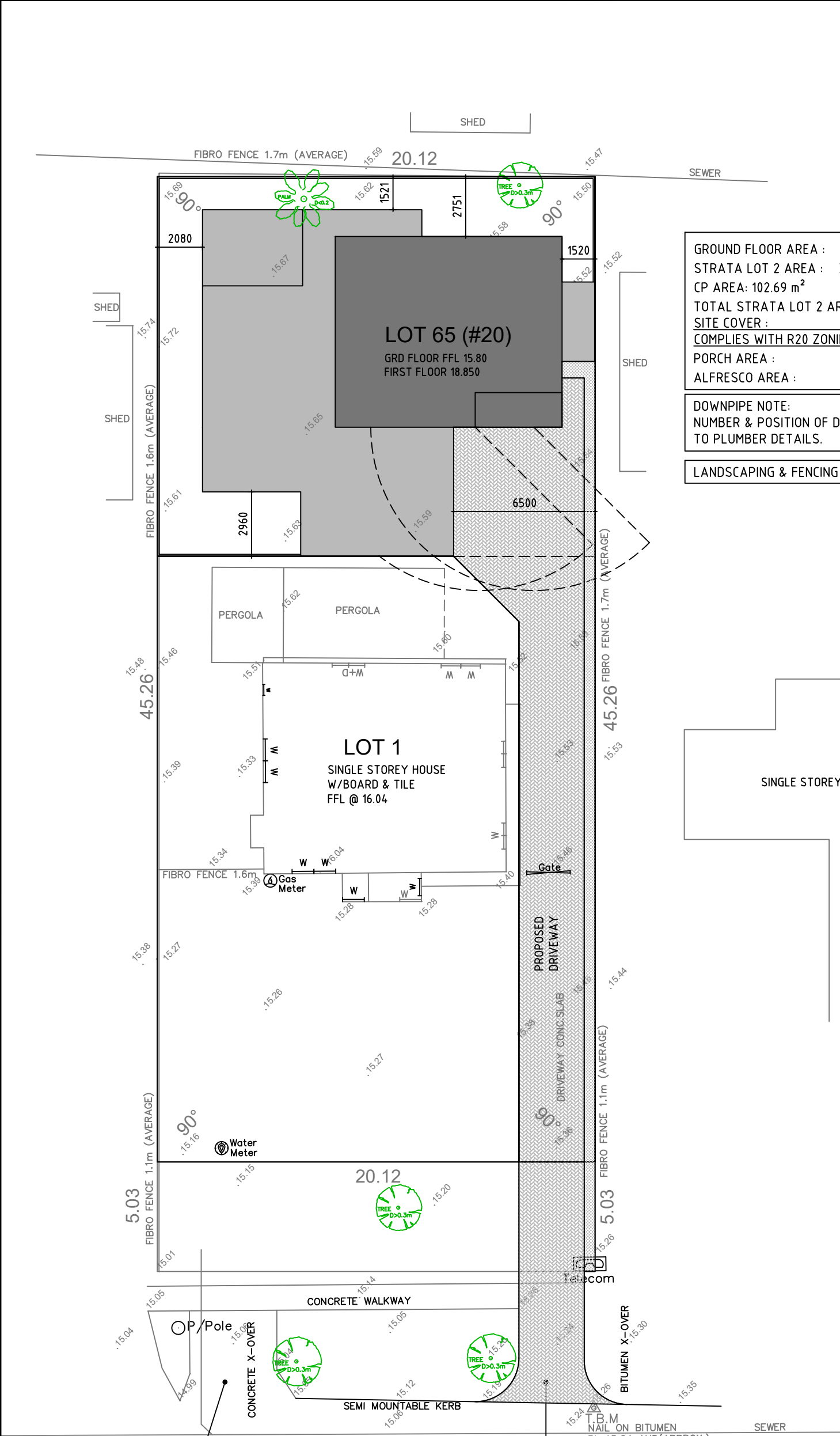
DRAWING
TITLE:
EXISTING SURVEY & PROPOSED SUBDIVISION PLANS

SCALE: NTS	SHEET SIZE: A2	SHEET NO: A100
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PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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FILE NO: 21/SONI

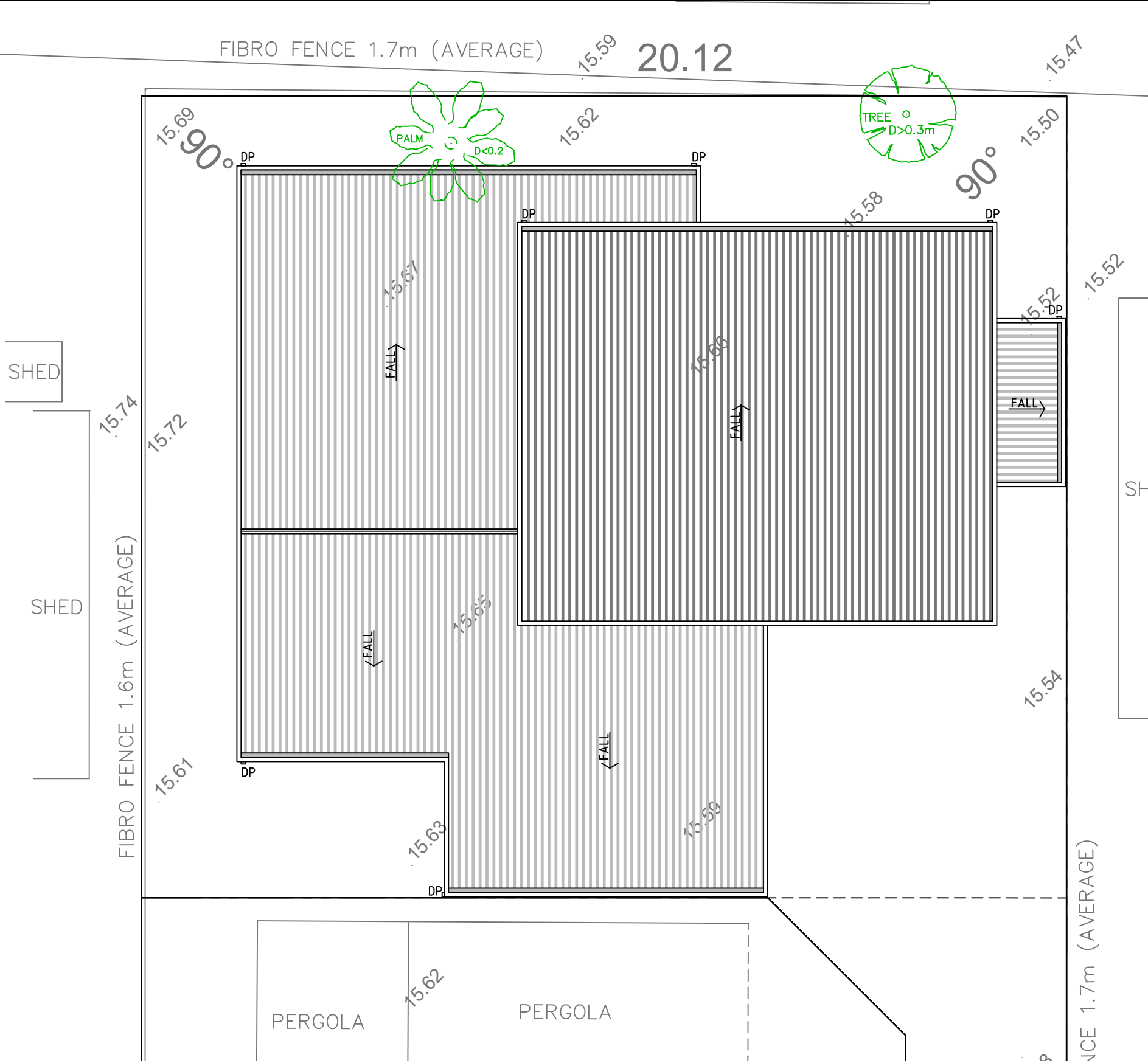




GROUND FLOOR AREA : 190.08 m²
STRATA LOT 2 AREA : 350.09 m²
CP AREA: 102.69 m²
TOTAL STRATA LOT 2 AREA: 401.43 m²
SITE COVER : 46.47%
COMPLIES WITH R20 ZONING
PORCH AREA : 3.35 m²
ALFRESCO AREA : 16.10 m²

DOWNPIPE NOTE:
NUMBER & POSITION OF DOWNPIPES
TO PLUMBER DETAILS.

LANDSCAPING & FENCING BY BUILDER.



PROPOSED ROOF PLAN
SCALE 1:100

PROPOSED SITE PLAN
SCALE 1:200

DC5	PLANNING CHANGES	HO	30.10.20
DC4	PLANNING APPLICATION	HO	29.09.20
DC3	PLANNING REVIEW	HO	22.09.20
DC2	CLIENT CHANGES	HO	11.09.20
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REV:	DESCRIPTION:	BY:	DATE:
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ADDRESS:
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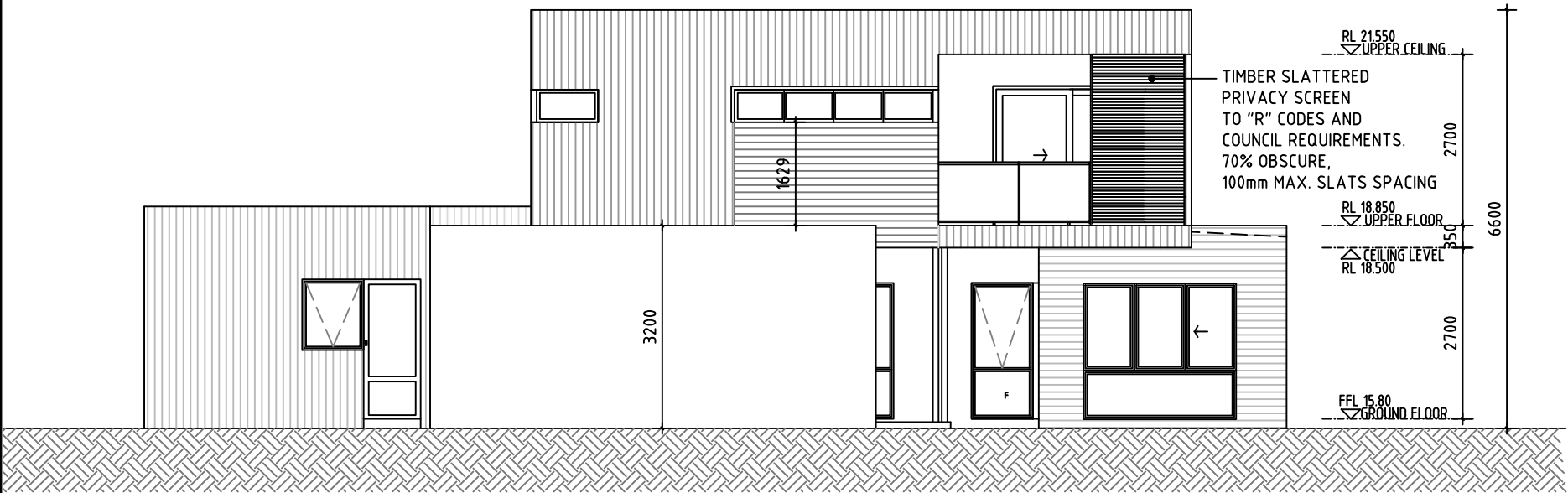
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DRAWING
TITLE:
PROPOSED SITE & ROOF PLANS

SCALE: NTS	SHEET SIZE: A2	SHEET NO: A101
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PROJECT NO: 2102	STATUS: DESIGN CONCEPT
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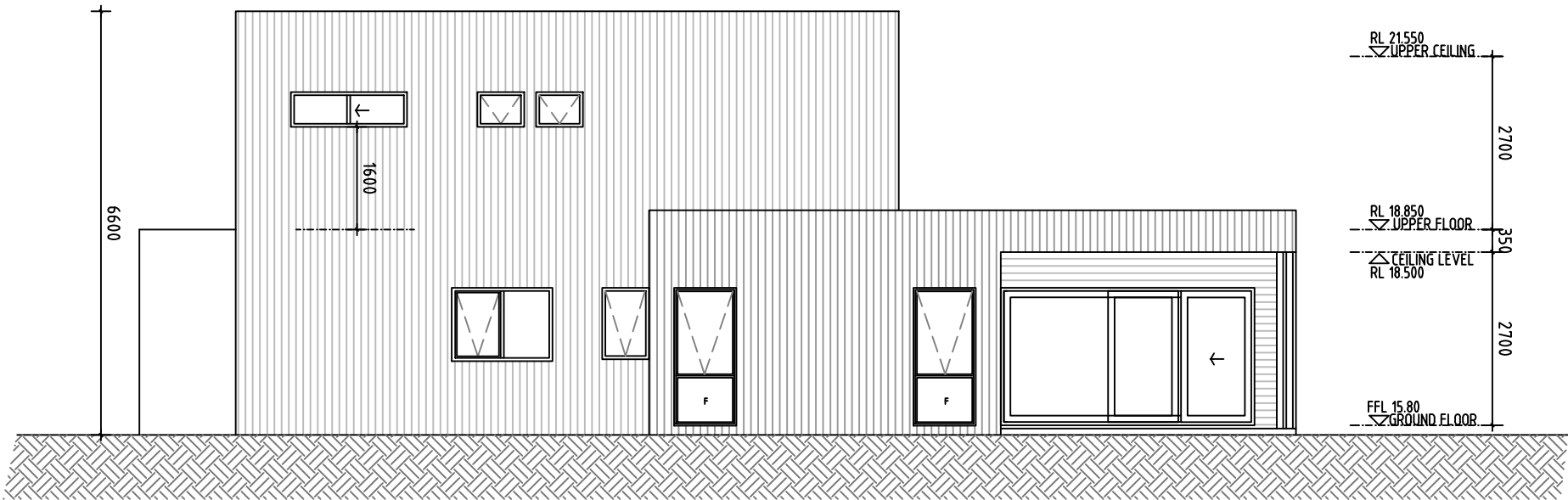
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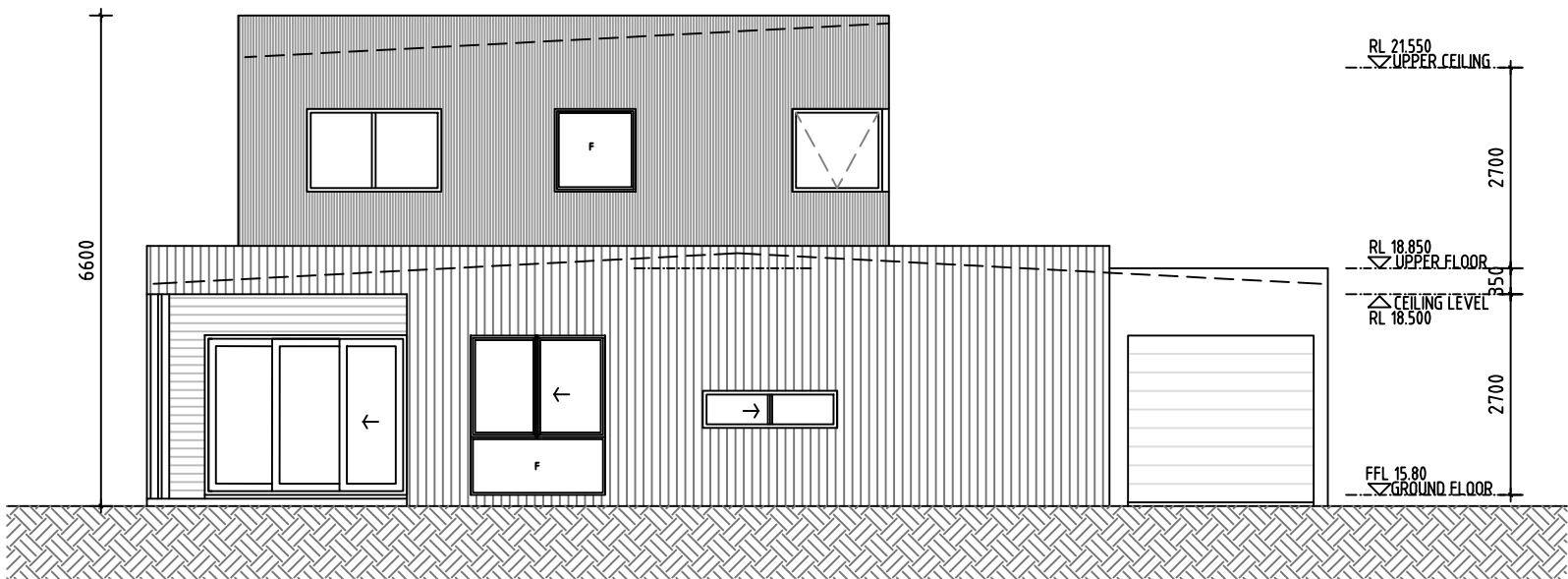
ELEVATION E1
SCALE 1:100



ELEVATION E2
SCALE 1:100




ELEVATION E3
SCALE 1:100



ELEVATION E4
SCALE 1:100

DC5	PLANNING CHANGES	HO	30.10.20
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REV:	DESCRIPTION:	BY:	DATE:
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CLIENT: SONI & CHRIS KIM			
PROJECT: PROPOSED DOUBLE STOREY HOUSE			
ADDRESS: LOT 65 (#20) BINGFIELD ROAD, WEST MEDINA			
DRAWN: HEC/H.O	CHECKED: H.O	INIT.DATE: 24.08.20	REVISION: DC5
DRAWING TITLE: ELEVATIONS			
SCALE: NTS	SHEET SIZE: A2	SHEET NO: A200	
PROJECT NO: 2102	STATUS: DESIGN CONCEPT		
FILE NO: 21/SONI			

ATTACHMENT D

Submitter	Submitter comments	Officer comment
22 Bingfield Road	<ol style="list-style-type: none"> 1. Out of keeping with the area 2. 2 storey intrusion into neighbours property 3. Investors rather than homebuyers. 4. Proposal should be located in a high density living area 	<ol style="list-style-type: none"> 1. Noted. Local Planning Policy: Residential Subdivision and Development Guidelines (the policy) is supportive of rear development being in line with the R-Codes, which allows for 2-storey residential housing, it would be inappropriate to deem that the development is considered not keeping to the existing nature where the policy would permit the development. 2. Supported. The applicant has responded to overlooking and have altered any major openings to no longer trigger overlooking 3. Not supported. Not a planning matter which is considered under Clause 67 of the <i>Planning and Development Regulations 2015</i> (Matters To Be Considered) 4. Not supported. Proposal meets Site area requirements for a R20 development.
21 Cowcher Way West	<ol style="list-style-type: none"> 1. Overlooking from upper floor windows should be rejected. 	<ol style="list-style-type: none"> 1. Supported. The applicant has responded to overlooking and have altered any major openings to no longer trigger overlooking.
23 Cowcher Way West	<ol style="list-style-type: none"> 1. Overlooking from proposed bedroom windows presents as a concern 2. Overshadowing from the proposed development would impact on winter sun. 3. Visual bulk and amenity impact from the 2 storey dwelling 4. Proposal does not conform to the Residential Subdivision and Development guidelines document as it presents battle-axe subdivision 	<ol style="list-style-type: none"> 1. Supported. The applicant has responded the overlooking and have altered the windows to be non-major opening (Highlight windows above 1.6m) therefore no longer triggering overlooking/visual privacy variations. 2. Not Supported. The proposed development was assessed with Clause 5.4.2 Solar Access for adjoining sites of the R-Codes. The proposal overshadows a total of 92 square metres across three lots to the south, which is under the 25% for each adjoining site's lot area. 3. Supported. The applicant's changes to the upper floor windows no longer deems the wall with a major opening therefore altering the setback requirements to be deemed-to-comply.

	<ol style="list-style-type: none"> 5. Proposal is not keeping in line with the existing nature of development and does not respond to the contextual neighbourhood setting. 6. New development will be visible from the primary street and does not conform to the requirements from section 3.2.1 of the Residential subdivision and design guidelines policy 7. Property will be visible from Cowcher way and Bryan Manwaring Reserve. 	<ol style="list-style-type: none"> 4. Noted. It is understood the application does not meet the 2.2.3 provision of the policy for Medina, however City Officers take the view that under the objectives of the policy, the application can be supported. The City has limited control on subdivision given the West Australian Planning Commission (WAPC) is the determining authority and battle-axe subdivision is permissible under the R-Codes. The City will however seek to introduce the policy provisions for battle-axe subdivision into the City's new Local Planning Scheme No 4 as a requirement hence binding the WAPC as part of its subdivision approvals within Medina. 5. Noted. As mentioned, the policy is supportive of rear development being in line with the R-Codes, which allows for 2-storey residential housing. It would be inappropriate to deem that the development is considered not keeping to the existing character where the policy would permit the development. 6. Not Supported. As above, the policy prefers that two-storey development is located to the rear of the lot. The policy further allows development to be constructed to 7.5m in total height; indicative of two storey development. 7. Noted. The proposal has the potential to be visible from multiple surrounding areas. This is not in itself sufficient planning justification.
25 Cowcher Way West	<ol style="list-style-type: none"> 1. The proposed upper floor bedroom 2 windows overlook into the rear backyard areas. 2. Battle-Axe subdivision should not be supported under the Residential Subdivision and Design Guidelines. 3. Proposed Two Storey Dwelling is not keeping in line with the existing single storey nature of Medina and will be visible from surrounding residences 	<ol style="list-style-type: none"> 1. Supported. The applicant has responded the overlooking and have altered the windows to be non-major opening (Highlight windows above 1.6m) therefore no longer triggering overlooking/visual privacy variations. 2. Noted. It is understood the application does not meet the 2.2.3 provision of the policy for Medina, however City Officers take the view that under the objectives of the policy, the application can be supported. The City has limited control on subdivision given the West Australian Planning Commission (WAPC) is the determining authority and battle-axe subdivision is permissible

	<p>4. The proposal is not in line with the existing nature of the Medina area</p> <p>5. The proposed two-storey dwelling will cause overshadowing into the adjoining southern lots.</p> <p>6. Proposal will have a negative effect on surrounding land value.</p>	<p>under the R-Codes. The City will however seek to introduce the policy provisions for battle-axe subdivision into the City's new Local Planning Scheme No 4 as a requirement hence binding the WAPC as part of its subdivision approvals within Medina.</p> <p>3. Not Supported. The Residential Subdivision and Design Guidelines allow for for rear battle-axe lots to be developed in accordance with the R-Codes for Category B houses. The max permissible heights are 7m to a flat/concealed roof, which would be indicative that 2-storey development can be supported and does not present a variation to building height.</p> <p>4. Noted. As mentioned above, the policy is supportive of rear development being in line with the R-Codes, which allows for 2-storey residential housing. It would be inappropriate to deem that the development is considered not keeping to the existing nature where the policy would permit the development.</p> <p>5. Not Supported. The proposed development was assessed with clause 5.4.2 Solar Access for adjoining sites of the R-Codes. The proposal overshadows a total of 92m² across 3 lots to the south, which is under the 25% for each adjoining site's lot area.</p> <p>6. Not Supported. Land value is not a planning matter which is considered under Clause 67 of the Planning and Development Regulations 2015 (Matters To Be Considered)</p>
27 Cowcher Way West	<p>1. Overlooking into rear property (into active habitable outdoor living area)</p>	<p>1. Supported. The applicant has responded the overlooking and have altered the windows to be non-major opening (Highlight windows above 1.6m) therefore no longer triggering overlooking/visual privacy variations.</p>

17.2 Development Application: Change of Use for Use Not Specified (Small Bar) – Lot 455 Hero Crescent, Bertram

DECLARATION OF INTEREST:

SUMMARY:

An application has been received for a change of use to a 'Use Not Specified – Small Bar' at Lot 455 Hero Crescent in Bertram (subject lot – see Attachment A). The subject lot is zoned 'Commercial' under the City of Kwinana Local Planning Scheme No.2 (LPS2) and is currently occupied by a multi-tenanted commercial building (see Attachment B). Although the tenancy that is subject of this application is vacant, the City issued an approval for a Licensed Restaurant in August 2019. No external alterations are proposed to the existing building as part of this application and the maximum number of persons permitted within the premises (as previously approved under the Licensed Restaurant application) remains unchanged. Attachment C shows the internal fit out plan for the proposed use.

Land use definitions under LPS2 for a licensed premises reference the name of the relevant liquor license. The proponent has lodged this application as they are seeking a Small Bar licence which they currently do not have land use approval for. The land use for a 'Small Bar' is not listed in LPS2 and therefore the application must be considered as a 'Use Not Specified'. The model provisions for local planning schemes, as seen in the *Planning and Development Regulations 2015* (the Regulations), define a Small Bar land use. Therefore, it is considered appropriate to use the land use of a Small Bar, as defined under the Regulations, to guide this application.

The proponent is seeking approval for a Small Bar land use in order to obtain a Small Bar license from the Department of Local Government, Sport and Cultural Industries (DLGSC), under the *Liquor Control Act 1988*. In order for the proponent to apply for a Small Bar license under the *Liquor Control Act 1988*, all relevant approvals (including development approval) are required to be obtained from the Local Government. The proponent argues that a Small Bar license provides greater flexibility in business operations and further encourages more social opportunities for patrons.

The proposal is considered to meet relevant planning requirements and is recommended for approval subject to conditions.

OFFICER RECOMMENDATION:

That Council approve a Use Not Specified – Small Bar at Lot 455 Hero Crescent in Bertram (as per Attachment C), subject to the following conditions and advice:

CONDITIONS:

- 1. The Small Bar hereby approved, is restricted to a maximum capacity of 120 persons at any time to the satisfaction of the City of Kwinana.**
- 2. No sales of packaged and/or takeaway liquor is permitted at any time.**

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

- 3. No goods or materials being stored either temporarily or permanently in the car parking, footpath or landscape areas or within access driveways to the satisfaction of the City of Kwinana.**
- 4. Prior to occupancy, the proponent shall submit an acoustic report and noise management plan to determine the noise impacts of the proposed development on the nearest noise sensitive premises and shall implement any noise mitigation requirements to the satisfaction of the City of Kwinana.**
- 5. Future signage for the development shall comply with the City of Kwinana's Local Planning Policy No. 9: Advertising Signage.**

ADVICE NOTES:

- 1. If the development the subject of this approval is not substantially commenced within a period of two (2) years, or another period specified in the approval after the date of the determination, the approval will lapse and be of no further effect.**
- 2. The Minister for Planning has issued a formal notice extending the deadline for substantial commencement by an additional two (2) years for all applications approved during the current State of Emergency. In effect, this means that the timeframe for substantial commencement is now four (4) years from the date of this determination.**
- 3. Where an approval has so lapsed, no development must be carried out without the further approval of the local government having first been sought and obtained.**
- 4. If the proponent or owner is aggrieved by this determination there is a right of review by the State Administrative Tribunal in accordance with the *Planning and Development Act 2005* Part 14. An application must be made within 28 days of the determination.**
- 5. The proponent should ensure the proposed development complies with all other relevant legislation, including but not limited to, the *Environmental Protection Act* and *Environmental Protection (Noise) Regulations 1997*, *Health (Miscellaneous Provisions) Act 1911* and *Regulations, Sewerage (Lighting Ventilation & Construction) Regulations 1971* and the National Construction Code.**
- 6. The proponent is advised that all food businesses must comply with the Food Act 2008 and Chapter 3 of the Australia New Zealand Food Standard Code (Australia Only). Under the Food Act 2008 the proponent must obtain prior approval for the construction or amendment of the food business premises. A food fit-out application is required to be submitted to the City of Kwinana for approval.**

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM**DISCUSSION:****Land Status**

Local Planning Scheme No. 2: Commercial
Metropolitan Region Scheme: Urban

Proposal

The City is in receipt of an application for a Use Not Specified – Small Bar at Lot 455 Hero Crescent in Bertram (refer to Attachments A, B and C). The subject lot is zoned 'Commercial' under LPS2.

The proposal is to change the previously approved land use for a Licensed Restaurant to a Small Bar. No changes are proposed to the existing approved commercial building on the property. The proposed land use for a small bar is not listed within LPS2 and therefore is required to be considered as a 'Use Not Specified' and be determined by Council.

The proponent is required to have approval from the City of Kwinana for the Small Bar land use under planning legislation in order to obtain a Small Bar license from DLGSC, under the *Liquor Control Act 1988*. Under this Act, a Restaurant license only permits alcohol consumption to be with a meal. In essence, a Licensed Restaurant should be focussed on providing meals, with the supply of liquor being secondary. The proponent is now proposing a Small Bar use to provide a more flexible premises that will provide the option for patrons to consume liquor while standing and without a meal (if they so choose) and allow for better socialising opportunities with friends and family. The proponent has requested that this planning application for a Small Bar land use be conditioned to restrict the maximum capacity of the venue to 120 persons and that no sales of packaged, takeaway liquor be permitted at any time. These conditions are consistent with the licensing requirements for a small bar under the *Liquor Control Act 1988*. This is further discussed later in this report.

Site History

In order to further understand the context of this application, the relevant planning history on the subject site is briefly outlined below:

September 2016:

Planning approval was issued by the City for multi-tenanted commercial buildings at Lot 455 Hero Crescent, Bertram. The application indicated that the development will attract core commercial land uses such as shops, offices and showrooms. The buildings (as approved under this application) have since been constructed with a number of tenancies being occupied.

August 2019:

Planning approval was issued by the City for a licensed Restaurant to be within the previously approved commercial building across tenancies no. 3, 4 and 5 (as approved in 2016). The application was to amalgamate these three tenancies to allow for a Licensed Restaurant land use. A Licensed Restaurant is listed in LPS2 as a Permitted land use within the commercial zone and was therefore approved by City Officers subject to a number of conditions. Some conditions to note include that for the maximum capacity of the restaurant to be permitted to be 120 persons. Furthermore, an acoustic report and noise management plan was required to be provided to ensure impacts on the surrounding area is minimised. It should be noted that although planning approval has been issued for this land use, it has not been acted on and the tenancy is currently vacant (the internal fit-out has not been completed).

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

LPS2 and the Regulations

Land Use

As the proponent is seeking to apply to the DLGSC for a Small Bar license, the proponent is required to ensure all relevant approvals have been issued by the applicable Local Government (including planning approvals). The City confirms this, by signing a Section 40 Certificate that the proponent lodges with their license application to DLGSC. The proponent is unable to obtain a Small Bar license under the Licensed Restaurant land use that was approved by City Officers in August 2019 as the definition of Restaurant under LPS2 is linked to the Restaurant licence.

Therefore, the proponent has submitted the subject development application for a change of use to a Small Bar. As previously outlined, the land use for a Small Bar is not listed in LPS2 and therefore is required to be considered as a 'Use Not Specified'. However, the model provisions for local planning schemes, as seen in the Regulations, defines the Small Bar land use. Therefore, it is considered appropriate to apply the land use of a Small Bar, as defined under the Regulations, to this application as follows:

Small bar means premises the subject of a small bar licence granted under the Liquor Control Act 1988;

Under the *Liquor Control Act 1988*, a Small Bar license authorises the sale and supply of liquor for consumption on the licensed premises only (meaning no packaged liquor sales are permitted). Such licenses also permit no more than 120 persons to be present on the licensed premises at any one time. Conversely, a Restaurant License requires the business to be focussed on the regular supply of genuine meals with the supply of liquor being secondary to this. The Small Bar license allows for greater flexibility in how the business is operated and the proponent comments that this encourages more social opportunities for patrons. It should be noted that while the proposal is for a Small Bar, this does not prohibit the serving of meals. The proponent has indicated that a significant element of the business is proposed to remain for the serving of meals and the Small Bar land use simply provides added flexibility and allows for the premises to become a meeting place for residents in the local area.

Advertising

Clause 4.7 of LPS2 requires all applications for a 'Use not Specified' to be advertised to surrounding landowners for comment. During the advertising period, one submission was received by the City and can be seen in Attachment D: Schedule of Submissions. As seen in Attachment D, the submitter objects to the proposed Small Bar. A response to each of the submitters concerns is outlined below:

Objection: *Noise from the Small Bar will impact on the surrounding residential area.*

City Response: In order to reduce impacts of noise on the surrounding land area, a condition of approval is recommended for the proponent to submit an acoustic report and noise management plan to the City of Kwinana prior to occupancy of the Small Bar. This noise management plan and its recommendations are then to be implemented to the satisfaction of the City of Kwinana. The noise management plan will seek to reduce impacts of noise on the surrounding area.

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

Objection: The Small Bar will only increase issues with alcohol consumption in the community.

City Response: As seen in Attachment C, the majority of the premises is proposed to function as a restaurant. The proponent has indicated that the manner of trade will remain with the restaurant having a strong focus on the provision of food and catering to the requirements of residents in the local area. The Small Bar land use to complement the restaurant and provide added flexibility for patrons. It should also be noted that the proponent is also required to apply for a Small Bar License from DLGSC prior to being able to operate this land use.

Objection: The Small Bar will increase traffic significantly in an already busy area
City Response:

City Response: No changes are proposed as part of this application to the maximum number of patrons that are permitted within the premises as approved under the Licensed Restaurant application (approved by the City in 2019). As per the Licensed Restaurant approval, a condition of approval is recommended for a maximum of 120 patrons to be present in the premises at any given time. City Officers note there will be no changes to traffic as part of this application. Furthermore, it should be noted the proposal is within a commercial zone, which attracts greater traffic volumes than residential areas.

The concerns noted by the submitter have been addressed and City Officers are of the view that the application can proceed subject to conditions. The number of persons permitted within the premises is unchanged and no external alterations to the building is proposed. The requirement to provide a noise management plan will work to reduce impacts on surrounding land uses and ultimately work to provide for a land use that will benefit the local community. It should also be noted that, in addition to this application, the proponent is required to apply for a Small Bar license under the DLGSC which regulates elements of this land use such as hours of operation.

Planning Assessment

Clause 4.7 of LPS2 outlines the requirements for applications for a 'Use not Specified'. This Clause states that if the use of land is not specifically mentioned in the Zoning Table of LPS2, Council is to determine if the proposed use is consistent with the objectives and purposes of the zone. The proposed land use is located within the Commercial zone and therefore it is appropriate to consider the application against the requirements for development within the Commercial zone.

Clause 6.6 of LPS2 states that the intention in controlling development within the Commercial Zone is to:

- (a) *Promote in the Commercial Zone both Shop and Showroom uses and*
- (b) *Promote in the Commercial Zone commercial uses which are complementary and not in competition with the function of the Kwinana Town Centre Zone.*

Although the proposed land use is not a showroom or shop use, it is considered to complement the existing shop uses that exist within the Bertram Neighbourhood Centre. The proposed Small Bar will not compete with the function of the Kwinana Town Centre, as no such land use has ever been approved in the City. Furthermore, the proposed Small Bar is intended to serve as a meeting place for the local community of Bertram and there is no reason why a Small Bar license could not also be considered in the City Centre if so desired.

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

The statutory planning requirements for all development within the Commercial zone are also listed under Clause 6.6 of LPS2. The planning requirements consider elements such as building setbacks, landscaping and the provision of car parking bays. Considering no physical changes are proposed to the existing approved building or parking arrangement on the site and the maximum number of persons permitted within the premises at any one time is unchanged, the proposal meets relevant planning requirements applicable to the Commercial zone as outlined under LPS2.

Similar conditions as approved under the application for a Licensed Restaurant in August 2019, are recommended as follows:

- The maximum number of persons permitted within the premises at any given time is 120.
- No goods or materials being stored either temporarily or permanently in the car parking, footpath or landscape areas or within access driveways.
- A noise management plan be submitted to the City of Kwinana to ensure impacts of noise on the surrounding area is minimised.

As previously stated, in addition to this application, the proponent is required to apply for a Small Bar license under the *Liquor Control Act 1988*. This license seeks to regulate certain elements of the Small Bar use. One element that is regulated under the license is the hours of operation. Hours of operation for a Small Bar license are 6am to midnight (Monday to Saturday) and 10am to midnight on Sunday. The proponent has stated that while these are the permitted hours of operation, depending on community demand and business feasibility, the hours of operation will not necessarily be from 6am to midnight. For example, breakfast may not be offered at this venue and therefore the opening time may be from lunchtime. In this regard, the proponent is seeking flexibility. Regardless, the Small Bar will not operate outside the hours of 6am to midnight. Considering hours of operation are regulated through the Small Bar license, it is considered unnecessary to enforce operating hours as a condition of approval.

An additional condition is recommended to ensure no sales of packaged liquor or takeaway liquor is undertaken. The proponent requested this condition be placed on the approval to ensure the business operations are consistent with the requirements for the licensing of a Small Bar, which in turn is consistent with the Small Bar land use as defined under the Regulations.

A condition is also recommended for future signage on the existing building to comply with the requirements of the City's Local Planning Policy 9. No information was provided as part of this application regarding signage and therefore this condition will seek to provide future signage on the site that meets relevant planning requirements.

The Small Bar land use is a contemporary land use that is commonly a permitted or discretionary land use within commercial centres under most modern local planning schemes across Western Australia.

Conclusion

City Officers are of the view that the proposed change of use application for a Small Bar will allow for greater flexibility and enable the premises to be a meeting place for the local area. Considering a similar land use has been assessed and approved on the premises (a Licensed Restaurant) and no physical alterations or maximum number of persons permitted on the subject site is changing, the Small Bar land use is considered to meet all relevant planning requirements as stipulated under LPS2. From an economic growth perspective, this land use encourages diversity in business operations and will enable this premises to better act as a meeting place for the local residents.

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

LEGAL/POLICY IMPLICATIONS:

For the purpose of Councillors considering a financial or impartiality interest only, the proponent is Hospitality Total Service and the owner is Aussie Liquor Discount Pty Ltd.

The following strategic and policy based documents were considered in assessing the application;

Legislation

Planning and Development Act 2005;

Planning and Development (Local Planning Schemes) Regulations 2015

Schemes

Metropolitan Region Scheme;

City of Kwinana Local Planning Scheme No.2

FINANCIAL/BUDGET IMPLICATIONS:

There are no financial implications as a result of this report.

ASSET MANAGEMENT IMPLICATIONS:

There are no asset management implications as a result of this report.

ENVIRONMENTAL IMPLICATIONS:

A condition of approval is recommended for a noise management plan to be submitted prior to occupancy of the Small Bar and be implemented to the satisfaction of the City of Kwinana to reduce impacts of noise on the surrounding area.

STRATEGIC/SOCIAL IMPLICATIONS:

This proposal will support the achievement of the following outcome and objective detailed in the Strategic Community Plan.

Plan	Outcome	Objective
Strategic Community Plan	A well planned City	4.4 Create diverse places and spaces where people can enjoy a variety of lifestyles with high levels of amenity.

COMMUNITY ENGAGEMENT:

Clause 4.7 of LPS2 requires all applications for a 'Use not Specified' to be advertised to surrounding property owners for comment. The application was advertised for 14 days to all adjoining property owners. During the advertising period, one submission was received by the City and has been summarised in Attachment D.

17.2 DEVELOPMENT APPLICATION: CHANGE OF USE FOR USE NOT SPECIFIED (SMALL BAR) – LOT 455 HERO CRESCENT, BERTRAM

PUBLIC HEALTH IMPLICATIONS:

The proposal has the potential to help improve the following determinants of health

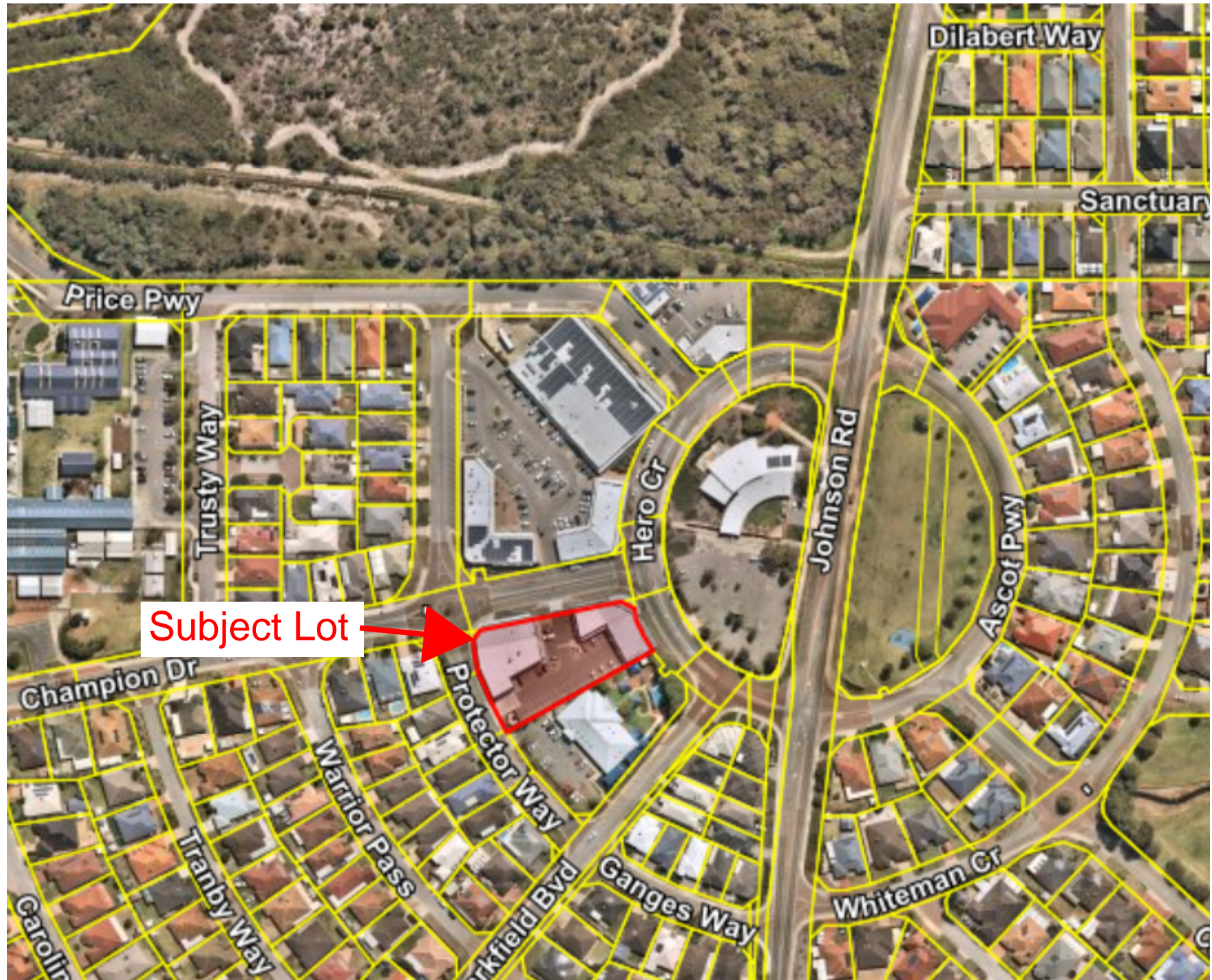
- Socio-economic Factors – Employment and Income.

RISK IMPLICATIONS:

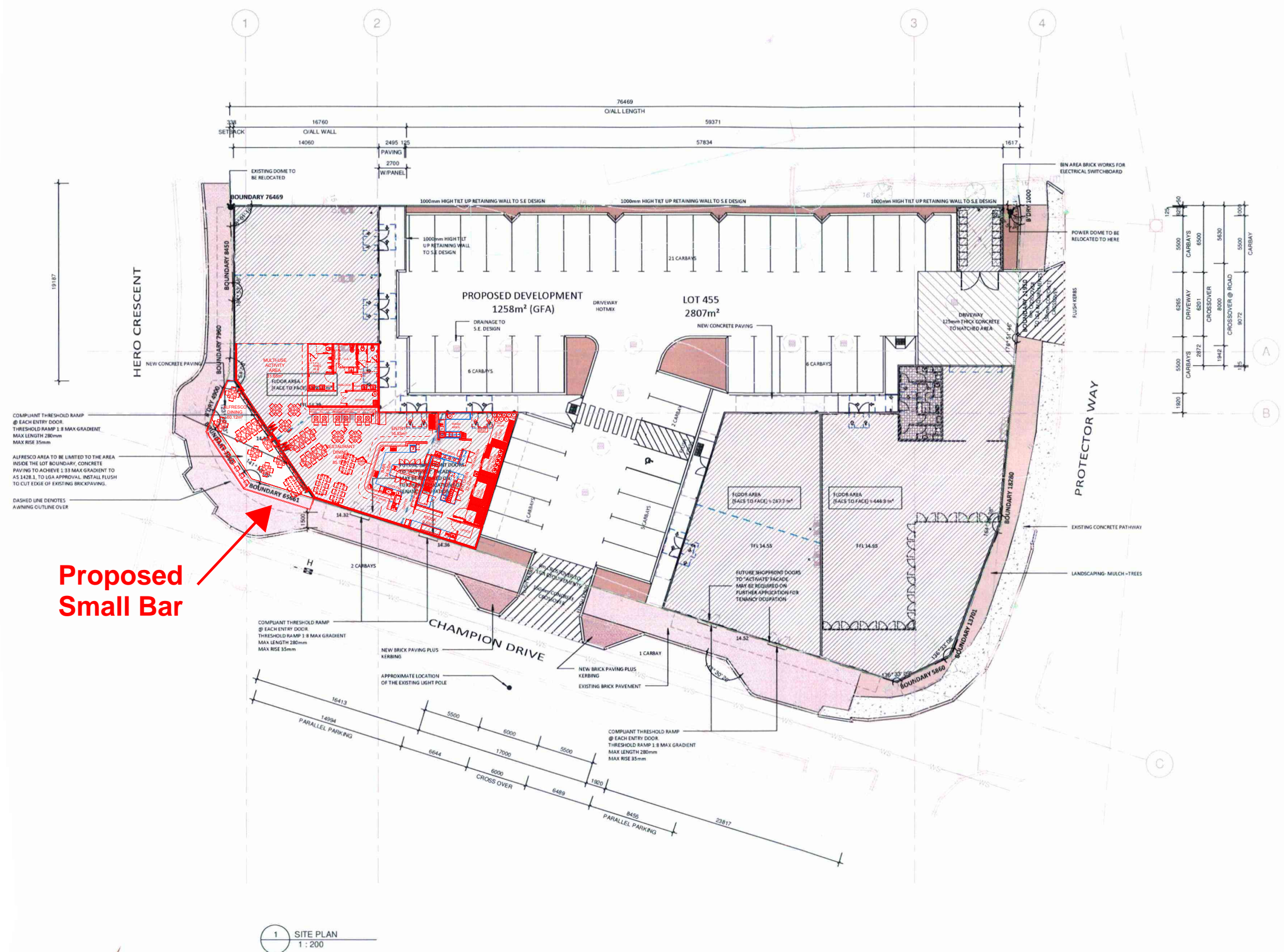
The risk implications in relation to this proposal are as follows:

Risk Event	Appeal of Council's decision on the development application.
Risk Theme	Failure to fulfil statutory regulations or compliance requirements Providing inaccurate advice/ information.
Risk Effect/Impact	Reputation Compliance
Risk Assessment Context	Strategic
Consequence	Minor
Likelihood	Possible
Rating (before treatment)	Moderate
Risk Treatment in place	Reduce - mitigate risk
Response to risk treatment required/in place	<ul style="list-style-type: none"> • Work instructions in place and checklists used when assessing the application. • Communicate with relevant external agencies when assessing the application. • Compliance of the proposal with LPS2 and relevant City policies. • Liaising with the proponent throughout the application process.
Rating (after treatment)	Low

Attachment A: Location Plan



Attachment B: Site Plan



1 SITE PLAN
1:200

Attachment C: Proposed Small Bar



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PROJECT TITLE / CLIENT THE SUBURBAN TENANCY 3-5, 1 CHAMPION CRESENT BERTRAM WA 6167			
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PROJECT NUMBER HTS----	DRAWING No. DD - 2.01	REVISION A	

18 Reports – Civic Leadership

18.1 Monthly Financial Report October 2020

DECLARATION OF INTEREST:

SUMMARY:

The Monthly Financial Report, which includes the Monthly Statement of Financial Activity and explanation of material variances, for the period ended 31 October 2020 has been prepared for Council acceptance.

OFFICER RECOMMENDATION:

That Council:

1. **Accepts the Monthly Statements of Financial Activity for the period ended 31 October 2020, contained within Attachment A; and**
2. **Accepts the explanations for material variances for the period ended 31 October 2020, contained within Attachment A.**

DISCUSSION:

The purpose of this report is to provide a monthly financial report, which includes rating, investment, reserve, debtor, and general financial information to Elected Members in accordance with Section 6.4 of the *Local Government Act 1995*.

The period of review is October 2020. The current closing municipal surplus for this period is \$38,865,480 compared to a budget position of \$36,176,748. This is considered a satisfactory result for the City as it is maintaining a healthy budget surplus position.

The City's cash balances are tracking well with a positive unrestricted cash balance as at 31 October of \$18,820,098. To date, the City has not had to draw on either the Waste Reserve contingency or the WATC Short Term Lending Facility.

Income for the October 2020 period year to date is \$51,805,151. This is made up of \$51,191,924 in operating revenues and \$613,226 in non-operating grants, contributions and subsidies received and other proceeds from investing activities. The budget estimated \$51,394,789 would be received for the same period. The variance to budget is \$410,362. Details of all significant variances are provided in the notes to the Monthly Financial Report contained within Attachment A.

Expenditure for the October 2020 period year to date is \$17,193,716. This is made up of \$15,697,596 in operating expenditure and \$1,496,120 in capital expenditure. The budget estimated \$22,817,136 would be spent for the same period. The variance to budget is \$5,623,420. This expenditure variance is attributable to the timing of works being completed and the supplier invoicing the City for works done with the variance primarily timing in nature. Details of all significant variances are provided in the notes to the Monthly Financial Report contained within Attachment A.

18.1 MONTHLY FINANCIAL REPORT OCTOBER 2020**LEGAL/POLICY IMPLICATIONS:**

Section 6.4 of the *Local Government Act 1995* requires a Local Government to prepare an annual financial statement for the preceding year and other financial reports as are prescribed.

Regulation 34 (1) of the *Local Government (Financial Management) Regulations 1996* as amended requires the Local Government to prepare monthly financial statements and report on actual performance against what was set out in the annual budget.

FINANCIAL/BUDGET IMPLICATIONS:

Any material variances that have an impact on the outcome of the budgeted closing surplus position are detailed in the Monthly Financial Report contained within Attachment A.

ASSET MANAGEMENT IMPLICATIONS:

There are no asset management implications associated with this report.

ENVIRONMENTAL IMPLICATIONS:

There are no environmental implications associated with this report.

STRATEGIC/SOCIAL IMPLICATIONS:

This proposal will support the achievement of the following outcome and objective detailed in the Corporate Business Plan.

Plan	Outcome	Objective
Corporate Business Plan	Business Performance	5.4 Ensure the financial sustainability of the City of Kwinana into the future

COMMUNITY ENGAGEMENT:

There are no community engagement implications as a result of this report.

PUBLIC HEALTH IMPLICATIONS

There are no public health implications as a result of this report.

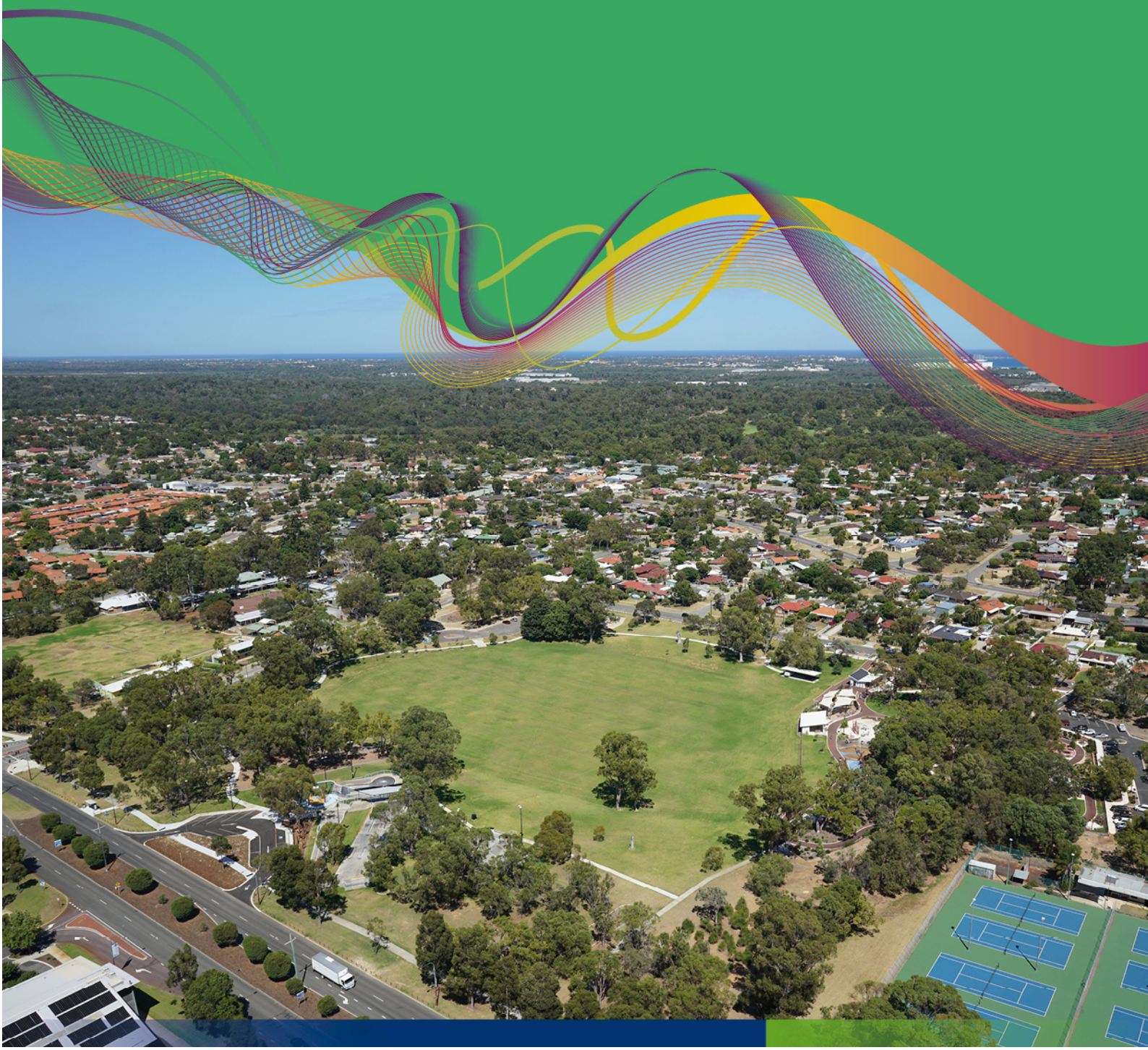
18.1 MONTHLY FINANCIAL REPORT OCTOBER 2020

RISK IMPLICATIONS:

The risk implications in relation to this proposal are as follows:

Risk Event	Inadequate management of the City's provisions, revenues and expenditures.
Risk Theme	Failure to fulfil statutory regulations or compliance Providing inaccurate advice/information
Risk Effect/Impact	Financial Reputation Compliance
Risk Assessment Context	Operational
Consequence	Minor
Likelihood	Unlikely
Rating (before treatment)	Low
Risk Treatment in place	Reduce (mitigate the risk)
Response to risk treatment required/in place	Annual adoption of variance tolerances for reporting purposes.
Rating (after treatment)	Low

Monthly Financial Report



CITY OF KWINANA

MONTHLY FINANCIAL REPORT
(Containing the Statement of Financial Activity)
For the period ending 31 October 2020

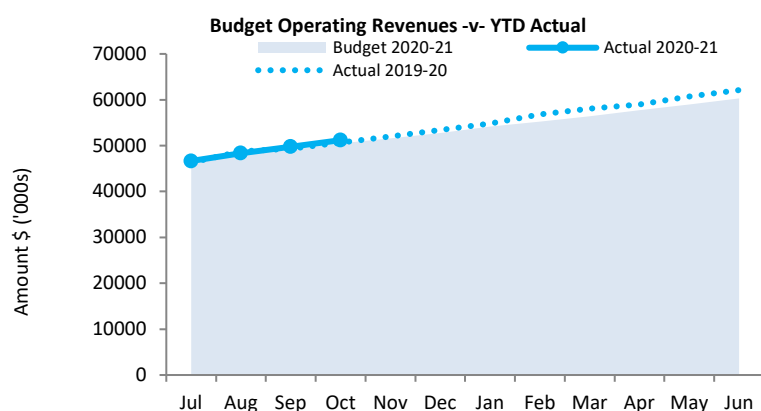
LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996

TABLE OF CONTENTS

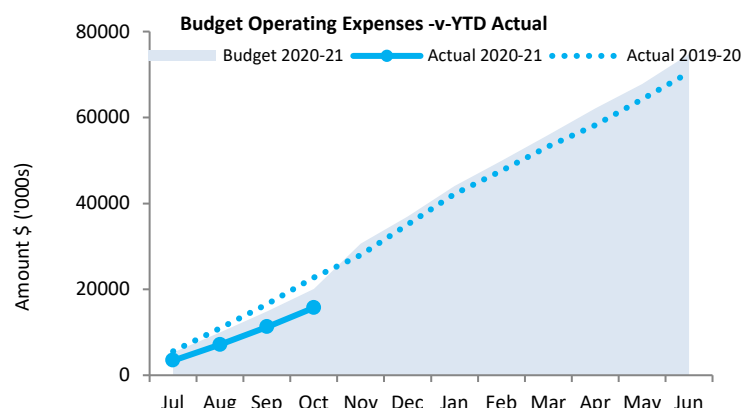
Statement of Financial Activity by Nature or Type	4
Statement of Financial Position	5
Note 1 Explanation of Material Variances	6
Note 2 Net Current Funding Position	7
Note 3 Cash and Financial Assets	8
Note 4 Receivables	9
Note 5 Disposal of Assets	11
Note 6 Capital Acquisitions	12
Note 7 Borrowings	17
Note 8 Cash Reserves	18
Note 9 Operating grants and contributions	19
Note 10 Non operating grants and contributions	20
Note 11 Trust Fund	21
Note 12 Budget Amendments	22

OPERATING ACTIVITIES

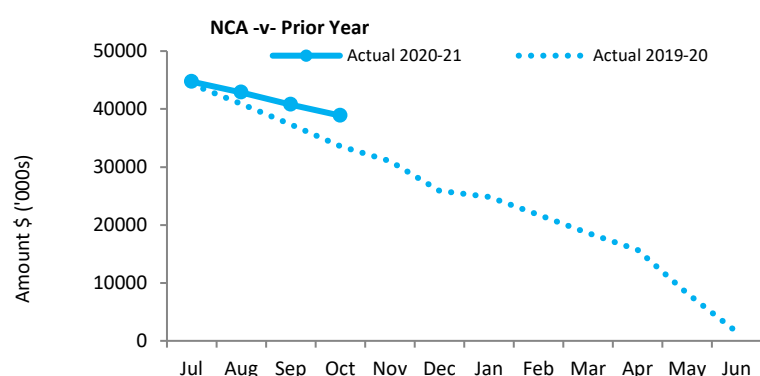
OPERATING REVENUE



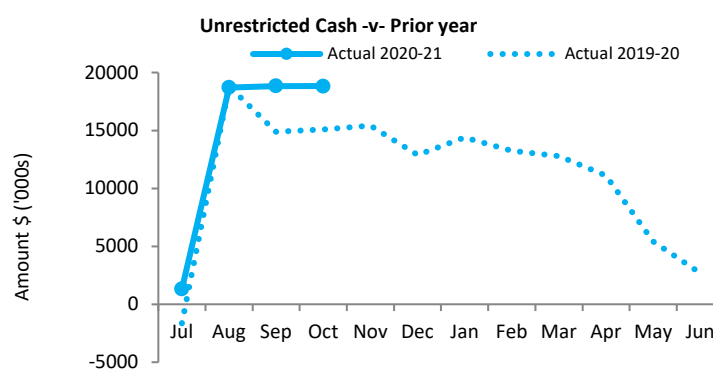
OPERATING EXPENSES



NET CURRENT ASSETS

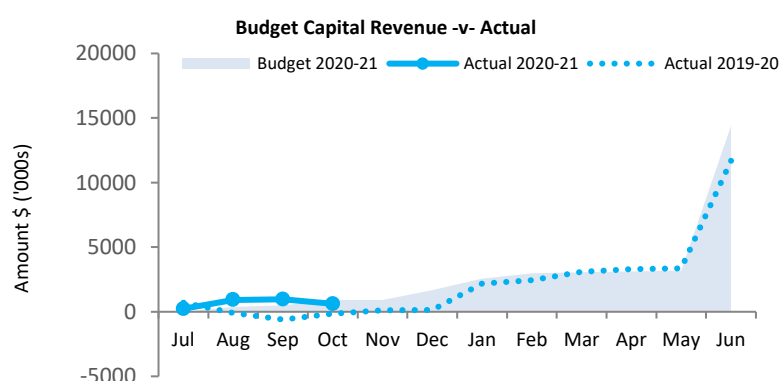


UNRESTRICTED CASH

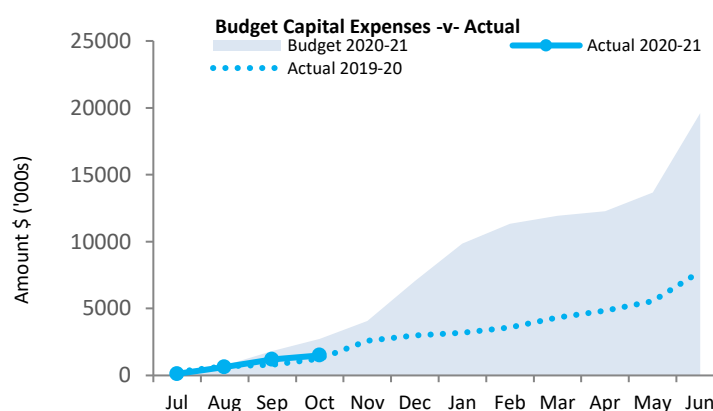


INVESTING ACTIVITIES

CAPITAL REVENUE

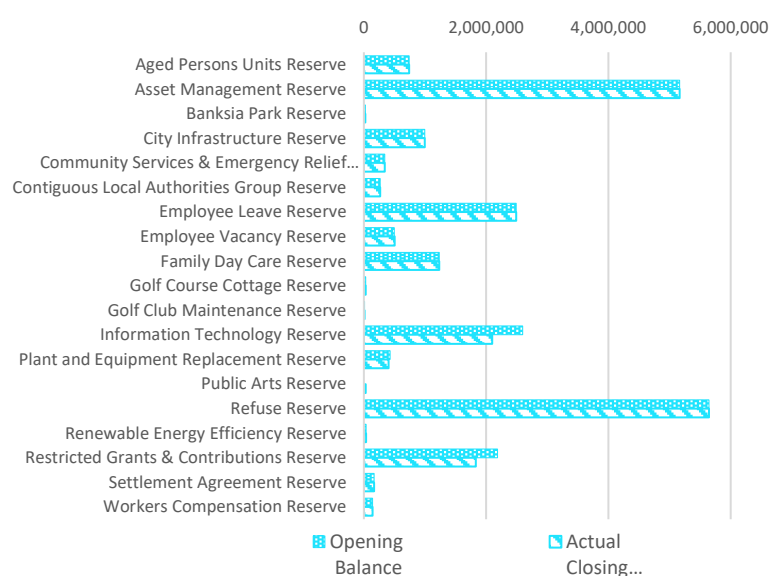


CAPITAL EXPENSES

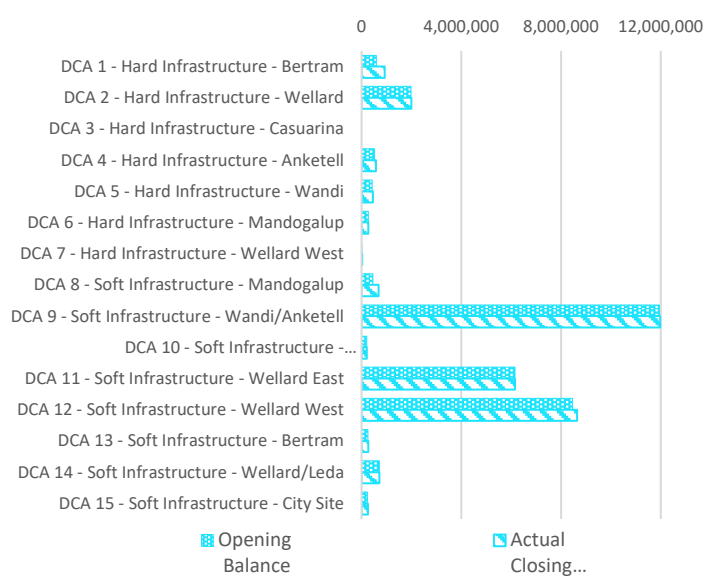


FINANCING ACTIVITIES

RESERVES



DCA RESERVES



Funding surplus / (deficit) Components

Funding surplus / (deficit)				
	Current Budget	YTD Current Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
Opening	\$1.36 M	\$1.42 M	\$1.52 M	\$0.10 M
Closing	\$0.00 M	\$36.18 M	\$38.87 M	\$2.69 M
Refer to Statement of Financial Activity				

Cash and cash equivalents		
	\$75.82 M	% of total
Unrestricted Cash	\$18.82 M	24.8%
Restricted Cash	\$57.00 M	75.2%
Refer to Note 3 - Cash and Financial Assets		

Payables	
	\$3.95 M
Trade Payables	\$1.68 M
Bonds & Deposits Held	\$1.37 M
Other Accrued Expenses	\$0.89 M

Receivables		
	\$21.74 M	% Outstanding
Rates Receivable	\$19.74 M	36.2%
Trade Receivable	\$2.00 M	
Refer to Note 4 - Receivables		

Key Operating Activities

Amount attributable to operating activities			
Current Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$6.22 M)	\$30.46 M	\$38.38 M	\$7.92 M
Refer to Statement of Financial Activity			

Rates Revenue		
YTD Actual	\$40.29 M	% Variance
YTD Budget	\$39.93 M	0.9%
Refer to Statement of Financial Activity		

Operating Grants and Contributions		
YTD Actual	\$2.29 M	% Variance
YTD Budget	\$2.26 M	1.6%
Refer to Note 10 - Operating Grants and Contributions		

Fees and Charges		
YTD Actual	\$7.89 M	% Variance
YTD Budget	\$7.60 M	3.8%
Refer to Statement of Financial Activity		

Key Investing Activities

Amount attributable to investing activities			
Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
(\$5.21 M)	(\$1.80 M)	(\$0.88 M)	\$0.92 M
Refer to Statement of Financial Activity			

Proceeds on sale		
YTD Actual	\$0.04 M	% Spent
YTD Budget	\$0.00 M	
Current Budget	\$0.47 M	7.6%
Refer to Note 5 - Disposal of Assets		

Asset Acquisition		
YTD Actual	\$1.50 M	% Spent
Current Budget	\$19.61 M	7.6%
Adopted Budget	\$19.12 M	7.8%
Refer to Note 6 - Capital Acquisition		

Capital Grants		
YTD Actual	\$0.58 M	% Received
Current Budget	\$3.61 M	16.0%
Adopted Budget	\$3.11 M	18.6%
Refer to Note 6 - Capital Acquisition		

Key Financing Activities

Amount attributable to financing activities			
Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)
\$10.08 M	\$6.10 M	(\$0.16 M)	(\$6.26 M)
Refer to Statement of Financial Activity			

Borrowings	
Principal repayments	\$0.05 M
Interest expense	\$0.04 M
Principal due	\$20.21 M
Refer to Note 7 - Borrowings	

Reserves	
Reserves balance	\$22.15 M
DCA Reserve Balance	\$33.17 M
Interest earned	\$0.09 M
Refer to Note 9 - Cash Reserves	

Lease Liability	
Principal repayments	\$0.03 M
Interest expense	\$0.00 M
Principal due	\$0.16 M
reclassified from Lease Expense June 2020 - AASB16	

This information is to be read in conjunction with the accompanying Financial Statements and notes.

STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020

BY NATURE OR TYPE

	Ref Note	Adopted Budget	Current Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		\$		\$	\$	\$	%	
Opening funding surplus / (deficit)		1,360,000	1,421,046	1,421,046	1,522,170	101,124	7.1%	▲
Revenue from operating activities								
Rates	5	39,933,543	39,933,543	39,933,543	40,285,434	351,891	0.9%	
Operating grants, subsidies and contributions	10	6,617,653	6,624,645	2,258,868	2,294,394	35,526	1.6%	
Fees and charges		11,913,171	11,913,171	7,600,757	7,890,411	289,654	3.8%	
Interest earnings		1,220,577	1,220,577	449,871	360,966	(88,905)	(19.8%)	▼
Other revenue		451,881	481,781	236,966	360,720	123,754	52.2%	▲
Profit on disposal of assets	5	124,510	124,510	0	0	0	0.0%	
		60,261,335	60,298,227	50,480,005	51,191,924	711,919		
Expenditure from operating activities								
Employee costs		(28,033,854)	(28,108,854)	(8,993,496)	(8,073,600)	919,896	10.2%	▲
Materials and contracts		(27,604,630)	(27,301,521)	(9,428,569)	(6,321,654)	3,106,915	33.0%	▲
Utility charges		(2,557,908)	(2,557,908)	(852,637)	(665,246)	187,391	22.0%	▲
Depreciation on non-current assets		(14,691,676)	(14,691,676)	(76,568)	0	76,568	100.0%	▲
Interest expenses		(987,579)	(987,579)	(46,843)	(45,839)	1,004	2.1%	
Insurance expenses		(583,736)	(583,736)	(583,736)	(584,756)	(1,020)	(0.2%)	
Other expenditure		(189,547)	(446,888)	(115,487)	(6,501)	108,986	94.4%	▲
Loss on disposal of assets	5	(83,085)	(83,085)	0	0	0	0.0%	
		(74,732,015)	(74,761,247)	(20,097,336)	(15,697,596)	4,399,741		
Non-cash amounts excluded from operating activities	2	8,241,957	8,241,957	76,568	2,884,021	2,807,453	3666.6%	▲
Amount attributable to operating activities		(6,228,723)	(6,221,063)	30,459,237	38,378,350	7,919,113		
Investing activities								
Grants, Subsidies and Contributions	11	13,434,461	13,930,014	914,784	577,454	(337,330)	(36.9%)	
Proceeds from disposal of assets	5	473,350	473,350	0	35,773	35,773	0.0%	
Self-Supporting Loan Principal Received	7	17,269	17,269	5,756	7,136	1,380	24.0%	
Self-Supporting Loan Principal Paid		(17,269)	(17,269)	0	0	0	0.0%	
Payments for property, plant and equipment	6	(19,121,835)	(19,606,501)	(2,719,800)	(1,496,120)	1,223,680	45.0%	▲
Amount attributable to investing activities		(5,214,024)	(5,203,137)	(1,799,260)	(875,758)	923,502		
Financing Activities								
Proceeds from new debentures	7	5,000,000	5,000,000	2,000,000	0	(2,000,000)	(100.0%)	▼
Repayment of debentures	7	(6,871,990)	(6,871,990)	(53,733)	(53,733)	0	0.0%	
Payments for principal portion of lease liabilities		(229,206)	(229,206)	(19,101)	(32,641)	(13,540)	(70.9%)	
Transfer from reserves	9	20,399,567	20,349,874	4,358,812	904,535	(3,454,277)	79.2%	
Transfer to reserves	9	(8,215,624)	(8,245,524)	(190,254)	(977,444)	(787,190)	(413.8%)	▼
Amount attributable to financing activities		10,082,747	10,003,154	6,095,725	(159,283)	(6,255,007)		
Closing funding surplus / (deficit)		0	0	36,176,748	38,865,480	2,688,732		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 1 for an explanation of the reasons for the variance.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

**STATEMENT OF FINANCIAL POSITION
FOR THE PERIOD ENDED 31 OCTOBER 2020**

	NOTE	Closing 30 June 2020 \$	Current Month 31 October 2020 \$	This Time Last Year 31 October 2019 \$
CURRENT ASSETS				
Cash and cash equivalents	9	25,471,026	21,952,768	9,641,186
Other financial assets - Term Deposits	9	33,787,559	53,561,294	62,522,040
Other financial assets - Banksia Park Deferred Mgmt Fees		319,490	319,490	297,819
Other financial assets - Self Supporting Loans		17,269	17,269	16,709
Rates receivable	4	3,572,719	19,738,786	19,182,895
Other receivables (<i>incl. allowance for impairment</i>)	4	866,606	2,840,266	1,803,365
Inventories		37,323	40,594	29,450
Other assets		464,297	0	0
TOTAL CURRENT ASSETS		64,536,288	98,470,466	93,493,464
NON-CURRENT ASSETS				
Trade and other receivables		760,126	752,007	707,184
Other financial assets - Banksia Park Deferred Mgmt Fees		3,184,673	3,184,673	3,095,582
Other financial assets - Local Govt House Trust		124,637	124,637	122,620
Other financial assets - Self Supporting Loans		232,704	225,568	243,068
Investment in associate (SMRC)		504,008	504,008	319,244
Property, plant and equipment		147,198,794	147,636,167	149,152,660
Infrastructure		363,572,820	364,228,798	359,799,991
Intangible assets		616,115	983,113	366,129
Right of use assets		190,680	190,680	0
TOTAL NON-CURRENT ASSETS		516,384,557	517,829,651	513,806,477
TOTAL ASSETS		580,920,845	616,300,117	607,299,941
CURRENT LIABILITIES				
Trade and other payables		7,427,674	3,945,632	4,528,991
Banksia Park Unit Contributions		16,975,350	16,975,350	17,133,425
Contract liabilities	10 & 11	10,641,272	10,794,058	0
Lease liabilities		114,357	81,717	0
Borrowings	7	2,314,779	2,314,779	1,451,093
Employee related provisions		5,505,931	5,491,803	4,896,410
TOTAL CURRENT LIABILITIES		42,979,362	39,603,338	28,009,919
NON-CURRENT LIABILITIES				
Contract liabilities	11	21,971,617	24,708,863	0
Lease liabilities		77,148	77,148	0
Borrowings	7	17,953,926	17,900,193	20,076,943
Employee related provisions		410,209	410,209	469,604
TOTAL NON-CURRENT LIABILITIES		40,412,900	43,096,413	20,546,547
TOTAL LIABILITIES		83,392,262	82,699,751	48,556,466
NET ASSETS		497,528,583	533,600,365	558,743,475
EQUITY				
Retained surplus		210,115,391	246,114,264	271,095,542
Reserves - cash/financial asset backed	9	55,249,686	55,322,596	55,916,098
Revaluation surplus		232,163,505	232,163,505	231,731,835
TOTAL EQUITY		497,528,583	533,600,365	558,743,475

This statement is to be read in conjunction with the accompanying notes.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**

**NOTE 1
EXPLANATION OF MATERIAL VARIANCES**

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date budget materially.
The material variance adopted by Council for the 2020-21 year is \$50,000 or 5.00% whichever is the greater.

Reporting Program	Var. \$	Var. %	Timing/ Permanent	Explanation of Variance
	\$	%		
Revenue from operating activities				
Rates	351,891	1%	No Material Variance	
Operating Grants, Subsidies and Contributions	35,526	2%	No Material Variance	Refer note 10.
Fees and Charges	289,654	4%	No Material Variance	
Interest Earnings	(88,905)	(20%)	▼ Permanent	Term deposit interest earned (\$105k) below budget partially offset by Rates interest \$16k higher than budgeted.
Other Revenue	123,754	52%	▲ Permanent	Insurance reimbursements and rebate.
Profit on Disposal of Assets	0	0%	No Material Variance	
Expenditure from operating activities				
Employee Costs	919,896	10%	▲ Permanent/Timing	Salary & wages below budget \$542k due to timing of filling various position vacancies. Other employee costs below budget due to lower than budgeted workers compensation premium \$223k.
Materials and Contracts	3,106,915	33%	▲ Timing	Timing of works. Environmental Health \$787k below budget (\$703k Mainstream Waste, \$50k Natural Environment). Facilities Management \$534k below budget (\$315k Parks & Reserves, \$219k Building Services). Engineering Services \$421k below budget (\$156k Depot and plant operating, \$265k Infrastructure & asset maintenance). Kwinana Village \$236k below budget, Family Day Care \$211k below budget, Community Development \$210k below budget, Planning & building services \$191k below budget, Community Centres & Library \$244k below budget, Ranger & Emergency Services \$131k below budget and Recquatic \$110k below budget.
Utility Charges	187,391	22%	▲ Permanent/Timing	Lower electricity costs for Administration building and Recquatic.
Depreciation on Non-Current Assets	76,568	100%	▲ Timing	Depreciation to be calculated after the annual financial report has been audited.
Interest Expenses	1,004	2%	No Material Variance	
Insurance Expenses	(1,020)	(0%)	No Material Variance	
Other Expenditure	108,986	94%	▲ Permanent	DCA - City contributions lower than budgeted \$99k.
Loss on Disposal of Assets	0	0%	No Material Variance	
Investing activities				
Non-Operating Grants, Subsidies and Contributions	(337,330)	(37%)	Timing	Refer note 11. Predominantly timing of roads and transport infrastructure project funding.
Reimbursement of Developer Contributions	0	0%	No Material Variance	
Proceeds from disposal of assets	35,773	0%	No Material Variance	
Self-Supporting Loan Principal	1,380	24%	Timing	
Payments for property, plant and equipment	1,223,680	45%	▲ Timing	Refer note 6. Timing of project expenditure.
Financing activities				
Proceeds from new debentures	(2,000,000)	(100%)	▼ Timing	WATC Short-term funding to cover potential cash shortage is yet to be required.
Repayment of debentures	0	0%	No Material Variance	
Payments for principal portion of lease liabilities	(13,540)	(71%)	Timing	
Transfer from reserves	(3,454,277)	79%	Timing	\$3m budgeted drawdown of Refuse Reserve to cover potential cash shortage is yet to be required. \$310k tfr from Asset Management Reserve below budget due to timing of projects.
Transfer to reserves	(787,190)	(414%)	▼ Timing	Timing of interest earned on Reserve term deposits and Developer Contributions received.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**

**NOTE 2
NET CURRENT FUNDING POSITION**

	Notes	Last Years Closing 30 June 2020	This Time Last Year 31 October 2019	YTD Actual 31 October 2020
		\$	\$	\$
(a) Non-cash items excluded from operating activities				
The following non-cash revenue and expenditure has been excluded from operating activities within the Statement of Financial Activity in accordance with Financial Management Regulation 32.				
Non-cash items excluded from operating activities				
Adjustments to operating activities				
Less: Profit on asset disposals	5	(124,076)	-	-
Less: Movement in pensioner deferred rates (non-current)		(48,371)	4,571	8,118
Movement in employee benefit provisions		544,157	(5,969)	(14,128)
Add: Loss on asset disposals		1,247,308	16,550	-
Add: Mvmt in Local Govt House Trust		(2,017)	-	-
Add: Change in accounting policies		(1,040,123)	-	-
Add: Depreciation on assets		15,630,143	4,866,020	-
Add: Mvmt in operating contract liabilities associated with restricted cash		194,030	-	(47,043)
Add: Mvmt in non-operating contract liabilities associated with restricted cash		82,701	-	2,937,074
Movement in Banksia Park deferred management fund receivable		(110,762)	-	-
Movement in Banksia Park valuation of unit contribution		(158,075)	-	-
Total non-cash items excluded from operating activities		16,214,915	4,881,172	2,884,021
(b) Adjustments to net current assets in the Statement of Financial Activity				
The following current assets and liabilities have been excluded from the net current assets used in the Statement of Financial Activity in accordance with <i>Financial Management Regulation</i> 32 to agree to the surplus/(deficit) after imposition of general rates.				
Adjustments to net current assets				
Less: Reserves - restricted cash		(55,249,686)	(55,249,686)	(55,322,596)
Less: Financial assets at amortised cost - self supporting loans		(17,269)	(16,709)	(17,269)
Less: Banksia Park DMF Recievable		(319,490)	(297,819)	(319,490)
Add: Borrowings		2,314,779	1,451,093	2,314,779
Add: Provisions - employee		5,505,931	4,896,410	5,491,803
Add: Current portion of contract liability held in reserve		10,641,272	-	10,794,058
Add: Lease liabilities		114,357	-	81,717
Add: Banksia Park Unit Contributions		16,975,350	17,133,425	16,975,350
Total adjustments to net current assets		(20,034,756)	(32,083,287)	(20,001,649)
(c) Net current assets used in the Statement of Financial Activity				
Current assets		64,536,288	93,493,464	98,470,466
Less: Current liabilities		(42,979,362)	(28,009,919)	(39,603,338)
Less: Total adjustments to net current assets		(20,034,756)	(32,083,287)	(20,001,649)
Closing funding surplus / (deficit)		1,522,170	33,400,258	38,865,480

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Description	Unrestricted	Restricted	Trust	Total Cash	Interest Rate	Institution	S&P Rating	Maturity Date	Days
	\$	\$	\$	\$					
Cash on hand									
CBA Municipal Bank Account	2,810,113	3,132,671		5,942,784	Variable	CBA	AA		
CBA Online Saver Bank Account	8,006,215	0		8,006,215	0.45%	CBA	AA		
CBA Trust Bank Account			308,211	308,211	N/A	CBA	AA		
Cash On Hand - Petty Cash	3,770			3,770	N/A	PC	N/A		
Term Deposits - Investments									
NAB	2,000,000			2,000,000	0.70%	NAB	AA	Nov 2020	90
NAB	3,000,000			3,000,000	0.70%	NAB	AA	Nov 2020	90
NAB	3,000,000			3,000,000	0.50%	NAB	AA	Jan 2021	90
Reserve Funds Investments (Cash Backed Reserves)									
Family Day Care Reserve		1,280,000		1,280,000	0.70%	NAB	AA	Dec 2020	122
City Infrastructure Reserve		1,000,000		1,000,000	0.70%	NAB	AA	Dec 2020	122
APU Reserve		745,000		745,000	0.70%	NAB	AA	Dec 2020	122
BP Reserve		25,000		25,000	0.70%	NAB	AA	Dec 2020	122
Renewable Energy Efficiency Reserve		35,000		35,000	0.70%	NAB	AA	Dec 2020	122
Information Technology Reserve		2,597,170		2,597,170	0.70%	NAB	AA	Dec 2020	122
Asset Management Reserve		5,178,180		5,178,180	0.54%	WBC	AA	Dec 2020	91
Refuse Reserve		5,644,890		5,644,890	0.54%	WBC	AA	Dec 2020	91
Plant and Equipment Replacement Reserve		431,400		431,400	0.54%	WBC	AA	Dec 2020	91
Employee Vacancy Reserve		500,805		500,805	0.54%	WBC	AA	Dec 2020	91
Employee Leave Reserve		2,488,385		2,488,385	0.65%	NAB	AA	Feb 2021	157
Golf Club Maintenance Reserve		8,860		8,860	0.65%	NAB	AA	Mar 2021	181
Golf Course Cottage Reserve		29,430		29,430	0.65%	NAB	AA	Mar 2021	181
Community Services & Emergency Relief Reserve		342,725		342,725	0.60%	NAB	AA	Jan 2021	120
CLAG Reserve		266,451		266,451	0.60%	NAB	AA	Feb 2021	150
Workers Compensation Reserve		144,235		144,235	0.60%	NAB	AA	Feb 2021	150
Settlement Agreement Reserve		168,130		168,130	0.60%	NAB	AA	Feb 2021	150
Reserve Funds Investments (Developer Contributions)									
DCA - 1 Hard Infrastructure - Bertram		600,664		600,664	0.55%	BEN	AAA	Mar 2021	180
DCA - 2 Hard Infrastructure - Wellard		1,991,997		1,991,997	0.55%	BEN	AAA	Mar 2021	180
DCA 6 - Hard Infrastructure - Mandogalup		274,651		274,651	0.55%	BEN	AAA	Mar 2021	180
DCA - 11 Soft Infrastructure - Wellard East		6,162,219		6,162,219	0.55%	BEN	AAA	Mar 2021	180
DCA - 12 Soft Infrastructure - Wellard West		8,480,802		8,480,802	0.55%	BEN	AAA	Mar 2021	180
DCA - 4 Hard Infrastructure - Anketell		575,926		575,926	0.55%	NAB	AA	Apr 2021	180
DCA 5 - Hard Infrastructure - Wandi		456,267		456,267	0.55%	NAB	AA	Apr 2021	180
DCA 7 - Hard Infra Mandogalup		31,613		31,613	0.55%	NAB	AA	Apr 2021	180
DCA - 8 Soft Infrastructure - Mandogalup		684,193		684,193	0.55%	NAB	AA	Apr 2021	180
DCA - 9 Soft Infrastructure - Wandi/Anketell		11,972,544		11,972,544	0.55%	NAB	AA	Apr 2021	180
DCA - 10 Soft Infrastructure - Casuarina/Anketell		204,782		204,782	0.55%	NAB	AA	Apr 2021	180
DCA - 13 Soft Infrastructure - Bertram		264,079		264,079	0.55%	NAB	AA	Apr 2021	180
DCA - 14 Soft Infrastructure - Wellard/Leda		717,656		717,656	0.55%	NAB	AA	Apr 2021	180
DCA - 15 Soft Infrastructure - Townsite		258,241		258,241	0.55%	NAB	AA	Apr 2021	180
Total	18,820,098	56,693,964	308,211	75,822,273					
	25%	75%	0.4%						
Comprising									
Cash and cash equivalents (Exclude Trust)	18,820,098	3,132,671	0	21,952,768					
Financial assets at amortised cost	0	53,561,294	0	53,561,294					
Trust	0	0	308,211	308,211					
	18,820,098	56,693,964	308,211	75,822,273					

KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value.

The local government classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Note 3(b): Cash and Investments - Compliance with Investment Policy

Portfolio Credit Risk	Funds Held	Actual at Period End	Limit per Policy	
AAA & Bendigo Bank Kwinana Community Branch	17,510,332	23%	100%	✓
AA	58,308,171	77%	100%	✓
A	-	0%	60%	✓
BBB	-	0%	20%	✓
Unrated	3,770	0%	20%	✓

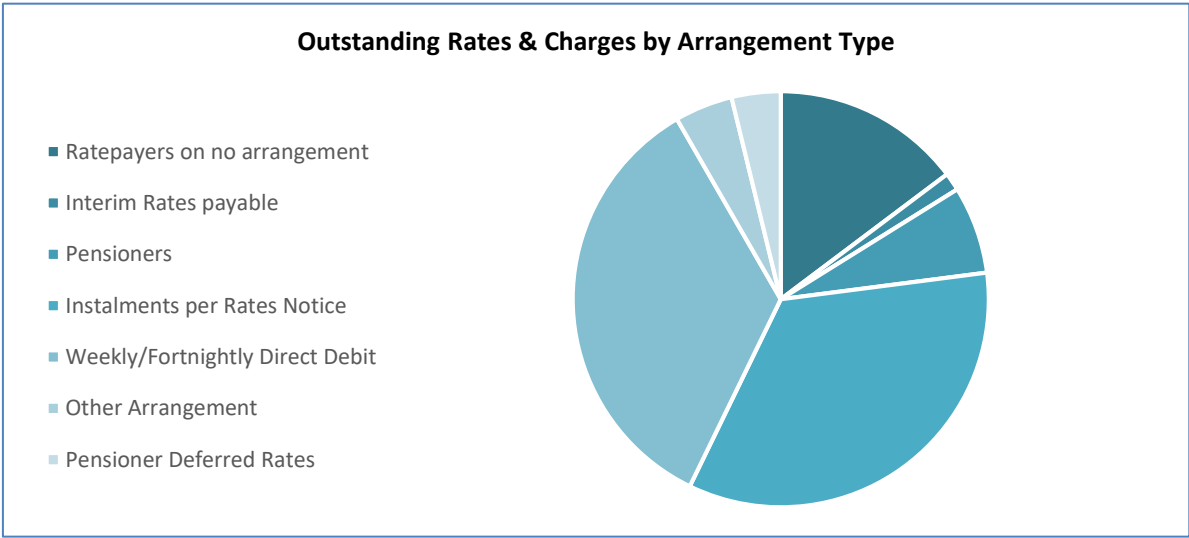
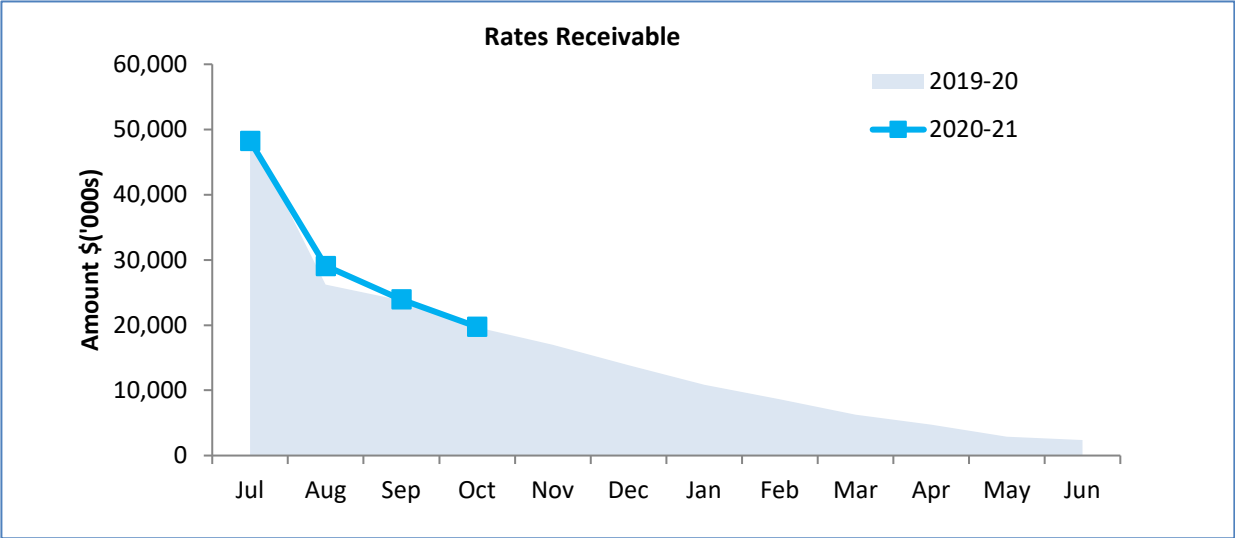
Counterparty Credit Risk	Funds Held	Actual at Period End	Limit per Policy	
BEN (AAA)	17,510,332	23%	45%	✓
NAB (AA)	32,295,687	43%	45%	✓
CBA (AA)	14,257,209	19%	45%	✓
WBC (AA)	11,755,275	16%	45%	✓

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020

OPERATING ACTIVITIES
NOTE 4
RECEIVABLES

Rates receivable	30 Jun 2020	31 Oct 2019	31 Oct 2020
	\$		\$
Opening arrears previous years	4,576,831	4,576,831	3,148,533
Levied this year	51,941,047	51,834,283	51,380,190
Rates & Charges to be collected	56,517,878	56,411,114	54,528,723
<u>Less</u> Collections to date	(52,185,033)	(36,521,035)	(34,037,930)
<u>Less</u> Pensioner Deferred Rates	(760,126)	(707,184)	(752,007)
Net Rates & Charges Collectable	3,572,719	19,182,895	19,738,786
% Outstanding	6.32%	34.01%	36.20%
<u>Prepaid</u> Rates received (not included above)	(1,182,587)	(428,978)	(462,196)
	4.23%	33.25%	35.35%

Outstanding Rates & Charges by Payment Arrangement Type	31 Oct 2020		
	No. of Assessments	\$	%
Ratepayers on no arrangement	1,358	2,909,674	15%
Interim Rates payable	136	275,409	1%
Pensioners	1,409	1,345,421	7%
Instalments per Rates Notice	4,203	6,761,411	34%
Weekly/Fortnightly Direct Debit	4,699	6,804,590	34%
Other Arrangement	168	890,274	5%
	11,973	18,986,778	96%
Pensioner Deferred Rates	211	752,007	4%
	12,184	19,738,786	100%

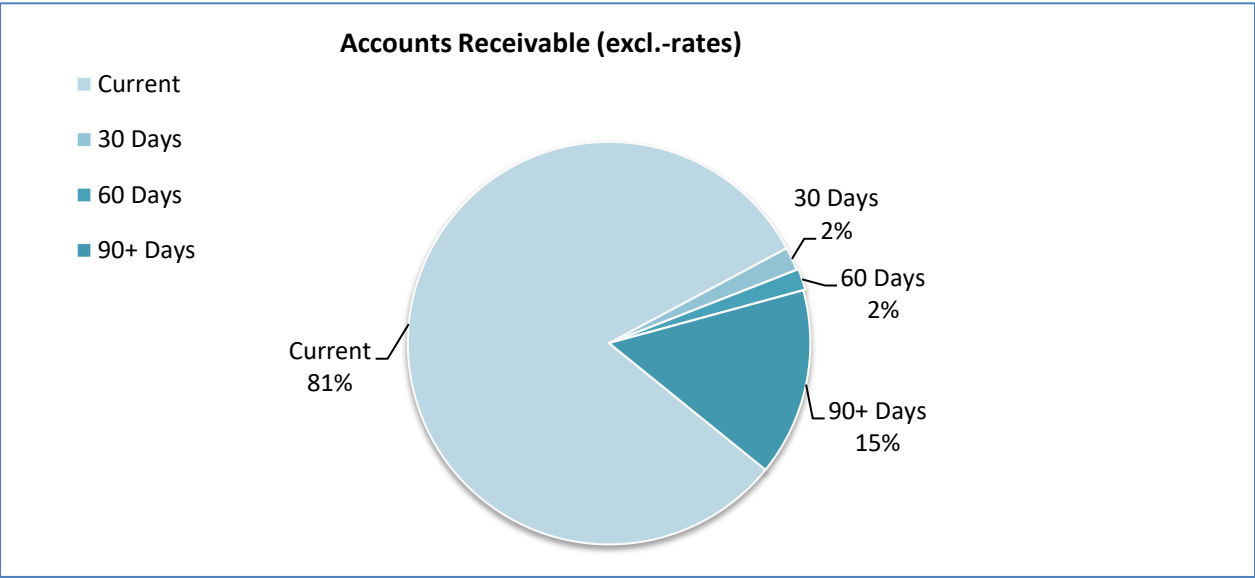


NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020

OPERATING ACTIVITIES
NOTE 4
RECEIVABLES

Receivables - general	Current	30 Days	60 Days	90+ Days	Total
Amounts shown below include GST (where applicable)	\$	\$	\$	\$	\$
Sundry receivable	1,627,915	35,548	32,219	90,917	1,786,599
Infringements Register	925	2,021	1,813	210,682	215,440
Total general receivables outstanding	1,628,840	37,569	34,031	301,599	2,002,039

81%2%2%15%



KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectible are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.

Sundry Debtors Outstanding Over 90 Days Exceeding \$1,000

Debtor #	Description	Status	\$
Debts with Fines Enforcement Registry (FER)			
2442.07	Prosecution Dog Act 1976	Registered with FER. Request sent to commence collection of outstanding debt.	5,378
3909.07	Prosecution Local Government Act 1995	Registered with FER.	3,652
4131.07	Prosecution Dog Act 1976 Dangerous Dog	Registered with FER. Debtor is making payments to FER. City yet to receive payments due to quantum of fines outstanding.	4,654
4233.07	Prosecution Local Law Fencing	Registered with FER.	2,500
4274.07	Prosecution Dog Act 1976	Registered with FER. Fortnightly payment of \$105 being received.	5,677
4275.07	Prosecution Local Law Urban Environment Nuisance - Disrepair Vehicle	Registered with FER. Request sent to commence collection of outstanding debt	13,734
4387.07	Prosecution Dog Act 1976	Registered with FER.	10,200
4465.07	Prosecution Dog Act 1976	Registered with FER. Regular payments being received.	6,230
4467.07	Prosecution Planning & Development Act	Registered with FER. Regular payments being received.	15,400
4545.07	Prosecution Dog Act 1976	Registered with FER. Regular payments being received.	1,120
4741.07	Prosecution Dog Act 1976	Registered with FER.	5,350
			73,896
Other Sundry Debtors			
854.16	Lease & Outgoings	Reconciliation of final tenancy costs being discussed with Department.	2,953
3884.03	Local Government Act 1995 abandoned vehicle	Defaulted Payment arrangement.	1,155
4355.03	Hazard reduction costs	Debt to be transferred onto property.	1,168
Total Debtors 90+ days > \$1,000			79,172

Asset Ref.	Asset description	Current Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
	Motor Vehicles								
	Plant Replacement - P432	20,000	19,800	0	(200)	0	0	0	0
	Plant Replacement - P448	3,488	17,100	13,612	0	0	0	0	0
	Plant Replacement - P479	3,439	15,500	12,061	0	0	0	0	0
	Plant Replacement - P483 - Insurance Claim	6,386	10,800	4,414	0	13,500	13,500	0	0
	Plant Replacement - P484	10,006	18,900	8,894	0	0	0	0	0
	Plant Replacement - P485	20,848	18,900	0	(1,948)	22,273	22,273	0	0
	Plant Replacement - P487	14,999	19,800	4,801	0	0	0	0	0
	Plant Replacement - P492	7,467	22,050	14,583	0	0	0	0	0
	Plant Replacement - P493	13,279	19,800	6,521	0	0	0	0	0
	Plant Replacement - P494	14,167	20,700	6,533	0	0	0	0	0
	Plant Replacement - P511	17,824	27,000	9,176	0	0	0	0	0
	Plant Replacement - P515	12,997	18,000	5,003	0	0	0	0	0
	Plant Replacement - P551	29,260	24,300	0	(4,960)	0	0	0	0
	Plant & Equipment								
	Plant Replacement P275 - Trailer Roller	1,788	4,000	2,212	0	0	0	0	0
	Plant Replacement P499 - DECK - Toro Ride on mower	14,499	0	0	(14,499)	0	0	0	0
	Plant Replacement P500 - DECK - Toro Ride on mower	12,196	0	0	(12,196)	0	0	0	0
	Plant Replacement P531 - DECK - Toro Ride on mower	0	0	0	0	0	0	0	0
	Plant Replacement P114 - Tandem Axle Tilt Trailer	0	2,000	2,000	0	0	0	0	0
	Plant Replacement P120 - Trailer Box top - Coast care	0	700	700	0	0	0	0	0
	Plant Replacement P148 Trailer box 7x4 with water tank and Pump	0	2,000	2,000	0	0	0	0	0
	Plant Replacement P199 Trailer box 7x4 with water tank and Pump	0	2,000	2,000	0	0	0	0	0
	Plant Replacement P351 Mitsubishi Canter Tip Truck	25,600	25,000	0	(600)	0	0	0	0
	Plant Replacement P392 Mitsubishi Canter Fuso	35,500	25,000	0	(10,500)	0	0	0	0
	Plant Replacement P443 Isuzu Tip Truck 6x4	118,182	80,000	0	(38,182)	0	0	0	0
	Plant Replacement P223 Volvo Loader L70	50,000	80,000	30,000	0	0	0	0	0
		431,925	473,350	124,510	(83,085)	35,773	35,773	0	0
				Net Profit/(Loss)	41,425			Net Profit/(Loss)	0


















































**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**



































**INVESTING ACTIVITIES
NOTE 6
CAPITAL ACQUISITIONS**






























Capital acquisitions	Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Variance
	\$	\$	\$	\$	\$
Land and Buildings	5,231,570	5,453,570	311,944	270,980	(40,964)
Plant, Furniture and Equipment	2,344,265	2,376,805	25,714	202,165	176,451
Intangible Assets	622,809	622,809	284,201	366,997	82,796
Infrastructure - Roads	3,642,090	3,875,423	1,186,326	226,538	(959,788)
Infrastructure - Parks & Reserves	994,154	845,227	441,593	342,593	(99,000)
Infrastructure - Footpaths	191,075	336,795	30,720	39,387	8,667
Infrastructure - Car Parks	0	0	0	0	0
Infrastructure - Drainage	5,822,737	5,822,737	227,447	40,334	(187,113)
Infrastructure - Bus Shelters	36,630	36,630	3,330	6,221	2,891
Infrastructure - Street Lights	236,505	236,505	208,525	905	(207,620)
Infrastructure - Other	0	0	0	0	0
Payments for Capital Acquisitions	19,121,835	19,606,501	2,719,800	1,496,120	(1,223,680)
Right of use assets	553,030	553,030	0	0	0
Total Capital Acquisitions	19,674,865	20,159,531	2,719,800	1,496,120	(1,223,680)
Capital Acquisitions Funded By:					
	\$	\$	\$	\$	\$
Capital grants and contributions	3,112,697	3,608,250	914,784	577,454	(337,330)
Borrowings	0	0	0	0	0
Lease liabilities	553,030	553,030	0	0	0
Disposal of Assets	473,350	473,350	0	35,773	35,773
Cash Backed Reserves	8,684,361	14,714,023	763,268	358,661	(404,607)
Municipal Funds	6,298,397	257,848	1,041,748	524,233	(517,515)
Capital funding total	19,121,835	19,606,501	2,719,800	1,496,120	(1,223,680)


















SIGNIFICANT ACCOUNTING POLICIES

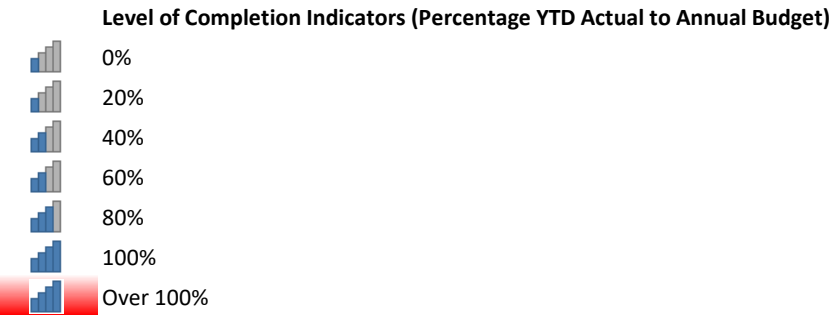
All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.

Capital Expenditure			Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Variance	Comments
			\$	\$	\$	\$	\$	
Buildings								
	13617	Building & Parks Contingency	101,750	101,750	25,437	0	(25,437)	
	13634	Administration Building Refurbishment	40,000	40,000	0	15,887	15,887	In progress.
	13636	Animal Care Facility Refurbishment	85,470	85,470	0	0	0	
	13619	Kwinana South VBFB Station Extensions	376,000	376,000	0	0	0	
	13620	Kwinana South VBFB Station Upgrade	30,000	62,700	0	0	0	Budget transferred from savings in Parmelia House roof renovation.
	13621	Mandogalup VBFB Station Extensions	328,159	328,159	0	134,246	134,246	DFES Grant funded. Construction completed August.
	13622	Mandogalup VBFB Station Upgrade	25,000	25,000	0	1,600	1,600	Construction completed August.
	13849	Mandogalup VBFB - Repair storage room cracked wall	0	5,000	0	0	0	LRCI Projects.
	13616	Recquatic Front Counter - Automated Gates	90,000	90,000	0	0	0	
	13873	Recquatic - Swim School Office Relocation	0	0	0	0	0	
	13640	Recquatic Resurface Floor	7,875	7,875	375	375	0	To be completed by end of December.
	13641	Recquatic Spa balance tank lid and ladder	8,400	8,400	400	400	0	
	13642	Recquatic 25m backwash tank lid Replacement	7,350	350	7,350	350	(7,000)	
	13643	Recquatic Centre - Internal paint public areas	0	8,000	0	0	0	LRCI Projects.
	13834	Recquatic Centre - Entrance area external walls repaint	0	25,000	0	0	0	LRCI Projects.
	13835	Recquatic Centre - Grout renewal - change rooms replace damaged grout	0	25,000	0	0	0	LRCI Projects.
	13627	Darius Wells Stormwater System	27,300	27,300	1,300	1,300	0	Specification complete, quoting in progress.
	13629	Darius Wells Roof Fall Arrest System	21,000	21,000	1,000	1,000	0	Works planned for February.
	13836	Darius Wells Knowledge Centre - Roof leak repair	0	3,500	0	0	0	LRCI Projects.
	13630	Darius Wells Automate Disabled Toilet Doors	21,000	26,000	21,000	1,000	(20,000)	Works planned for November.
	13632	Darius Wells Room Conversion	9,666	9,666	9,666	0	(9,666)	To be completed by end of May 2021.
	13623	John Wellard Community Centre External Paint	6,300	6,300	300	300	0	Work planned for November.
	13628	John Wellard Community Centre Stormwater System	22,050	17,050	1,050	12,382	11,332	Project complete, awaiting invoices.
	13838	John Wellard Community Centre - Paving stain cleaning/repaint due to vandalism	0	10,000	0	0	0	LRCI Projects.
	13839	John Wellard Community Centre - Wall Finishes - meeting rooms repaint	0	7,000	0	0	0	LRCI Projects.
	13840	John Wellard Community Centre - Wisteria room carpet replacement	0	15,000	0	0	0	LRCI Projects.
	13846	William Bertram Community Centre - External cracked walls repairs/metal fencing repaint	0	7,000	0	0	0	LRCI Projects.
	13847	William Bertram Community Centre - External walls repaint in the playground area	0	7,000	0	0	0	LRCI Projects.
	13848	William Bertram Community Centre - Rusted gutters restoration close to playground area	0	7,000	0	0	0	LRCI Projects.
	13850	Zone Youth Centre - Roof leak repair	0	10,000	0	0	0	LRCI Projects.
	13633	Sloans Cottage Accessibility Works	26,709	12,709	0	0	0	Engaging heritage architect.
	13644	Sloans Heritage (Caretaker) Cottage Accessibility Works	20,700	64,700	350	350	0	Engaging heritage architect.
	13624	Parmelia House Roof Renovation	47,775	15,075	15,075	15,002	(73)	Project complete. Budget savings transferred to Kwinana South VBFB Station upgrade.
	13842	Medina Oval Changerooms - Terracing/seating/accessibility	0	15,000	0	0	0	LRCI Projects.
	13626	Medina Oval Toilet Refurbishment	26,250	26,250	26,250	1,250	(25,000)	Work planned for November.
	13841	Medina Hall - Isabela Corker wing - lift, dispose, install and underlay carpet	0	4,000	0	0	0	LRCI Projects.
	13814	Medina Centre - CCTV, lighting and WIFI upgrades	0	0	0	3,712	3,712	\$10k cfd from 2019/20.
	13631	Calista Oval Tennis Clubrooms	137,363	137,363	6,541	7,026	485	In progress.
	13635	Rhodes Park Accessible Toilet Design	15,750	15,750	0	450	450	Brief in progress.
	13637	Challenger Beach Ablutions Structural Renewal	10,500	10,500	10,500	500	(10,000)	Assessment in progress.
	13618	DCA 9 Local Sportsground Clubroom Honeywood Primary School Oval	3,718,203	3,718,203	164,350	72,850	(91,500)	Project on hold during community engagement process.
	13639	Wandi Resource Centre Asbestos Removal Program	15,750	15,750	15,750	750	(15,000)	Specification in progress.
	13837	Goldney Velodrome BMX Track Kiosk & Ablution - External wall repaint/paving restoration	0	12,000	0	0	0	LRCI Projects.
	13843	Thomas Oval Electrical Compound - External walls cleaning/renewal and painting	0	4,500	0	0	0	LRCI Projects.
	13844	Wellard Pavilion - External wall finishes.	0	10,000	0	0	0	LRCI Projects.
	13845	Wells Park public toilet - External brick wall and paving cleaning/repaint	0	10,000	0	0	0	LRCI Projects.
	13638	18 Maydwell Way Asbestos Removal Program	5,250	5,250	5,250	250	(5,000)	Specification in progress.
	13856	18 Maydwell Way - Window screen renewal	0	7,000	0	0	0	Budget reallocated from Sloans Cottage.
	13855	Magenup Equestrian Centre - Stable renovation	0	7,000	0	0	0	Budget reallocated from Sloans Cottage.
Buildings Total			5,231,570	5,453,570	311,944	270,980	(40,964)	

Capital Expenditure			Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Variance	Comments
			\$	\$	\$	\$	\$	
Plant, Furniture and Equipment								
Furniture and Equipment								
	13660	Library - self returns shelves	12,355	12,355	12,355	0	(12,355)	
	13661	Library - self check out touchscreen computer & workstation	7,000	7,000	0	0	0	
	13662	Library - self check out stations for Community Centres	25,438	25,438	0	0	0	
	13825	Replacement of Mayoral Chains	0	10,540	0	0	0	Carried forward from 2019/20.
Computing Equipment								
	13646	City Website Redevelopment Stage 3 of 3	122,860	122,860	20,352	29,709	9,357	In progress.
	13647	Computing Equipment as required	25,438	25,438	6,359	0	(6,359)	
	13648	Corporate Business System Implementation	1,519,953	1,519,953	263,849	337,288	73,439	In progress.
Plant and Equipment								
	13606	Plant Replacement P275 Trailer Roller	23,500	23,500	0	0	0	
	13663	Plant Replacement P499 DECK - Toro Ride on mower	5,500	5,500	0	0	0	
	13664	Plant Replacement P500 DECK - Toro Ride on mower	5,500	5,500	0	0	0	
	13665	Plant Replacement P531 DECK - Toro Ride on mower	5,500	5,500	0	0	0	
	13666	Plant Replacement P114 Tandem Axle Tilt Trailer	15,000	15,000	0	0	0	
	13667	Plant Replacement P120 Trailer Box top - Coastcare	3,500	3,500	0	0	0	
	13668	Plant Replacement P148 Trailer box 7x4 with water tank and Pump	10,500	10,500	0	9,200	9,200	Purchase complete.
	13669	Plant Replacement P199 Trailer box 7x4 with water tank and pump	10,500	10,500	0	0	0	
	13670	Plant Replacement P351 Mitsubishi Canter Tip Truck	135,000	135,000	0	0	0	
	13671	Plant Replacement P392 Mitsubishi Canter Fuso	95,000	95,000	0	0	0	
	13672	Plant Replacement P443 Isuzu Tip Truck 6x4	150,000	150,000	0	0	0	
	13673	Plant Replacement P223 Volvo Loader L70	260,000	260,000	0	0	0	
	13674	Traffic Management - Traffic Equipment	26,530	26,530	0	22,491	22,491	Signs arrived August.
	13833	Recquatic Pool Upgrades	0	32,000	7,000	0	(7,000)	
Motor Vehicles								
	13886	Plant Replacement P551	43,000	33,000	0	0	0	Change in replacement vehicle purpose - reduced cost.
	13686	Plant Replacement P483	27,500	27,500	0	25,978	25,978	Purchase complete.
	13693	Plant Replacement P511	43,000	43,000	0	42,629	42,629	
	13696	Plant Replacement P515	35,000	35,000	0	34,826	34,826	Purchase complete.
	13697	Plant Replacement P492	27,500	27,500	0	27,069	27,069	Purchase complete.
	13694	Plant Replacement P448	42,000	42,000	0	0	0	
	13687	Plant Replacement P479	40,000	40,000	0	0	0	
	13688	Plant Replacement P484	45,000	45,000	0	0	0	
	13695	Plant Replacement P485	40,000	40,000	0	39,971	39,971	
	13685	Plant Replacement P487	40,000	40,000	0	0	0	
	13689	Plant Replacement P493	40,000	40,000	0	0	0	
	13690	Plant Replacement P494	40,000	40,000	0	0	0	
	13691	Plant Replacement P432	45,000	45,000	0	0	0	
Plant , Furniture and Equipment Total			2,967,074	2,999,614	309,915	569,162	259,247	

Capital Expenditure			Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Variance	Comments
			\$	\$	\$	\$	\$	
Park and Reserves								
	13675	KIA Street Tree Planting Program	76,313	76,313	3,634	3,634	0	Design completed.
	13676	Kwinana Loop Trail	10,000	10,000	10,000	10,608	608	Carried forward from 2019/20. Project complete.
	13677	Thomas Oval Lighting	413,361	278,754	278,754	260,298	(18,456)	In progress.
	13678	Bertram Street Tree Planting Program	111,925	111,925	5,330	5,330	0	Design complete.
	13679	Parks for People Strategy Ascot Park	145,000	1,320	1,320	1,320	0	Community consultation November.
	13680	Parks for People Strategy Peace Park	10,000	10,000	10,000	0	(10,000)	Project to commence October-December.
	13888	Parks for People Strategy Gemstone Park	0	129,360	0	0	0	Budget reallocated from Ascot Park.
	13682	POS / Parks & Reserves Renewals Bores, Fencing, Irrigation	227,555	227,555	132,555	61,403	(71,152)	
Parks and Reserves Total			994,154	845,227	441,593	342,593	(99,000)	
Roads								
Urban Road Grant Construction								
	13704	Wellard Road Duplication Project MRRG / DCA Funded	282,905	282,905	0	1,012	1,012	Design and drafting in progress.
	13705	Road Reseal Renewals MRRG Ocean Street	345,200	345,200	345,200	31,382	(313,818)	
	13706	Road Reseal Renewals MRRG Mandurah Road SB1	188,300	188,300	188,300	17,118	(171,182)	
	13710	Road Reseal Renewals MRRG Mandurah Road NB 2	64,800	64,800	5,891	7,676	1,785	
	13707	Road Reseal Renewals MRRG Cockburn Road NB	46,400	46,400	4,218	40,522	36,304	Project completed, waiting on line marking.
	13709	Road Reseal Renewals MRRG Leath Road 1	99,300	99,300	9,027	9,027	0	Works planned for Nov/Dec.
	13711	Road Reseal Renewals MRRG Leath Road 2	49,700	49,700	4,518	4,518	0	Works planned for Nov/Dec.
	13708	Road Reseal Renewals MRRG Leath Road 3	395,300	395,300	35,936	35,936	0	Works planned for Nov/Dec.
	13712	Road Reseal Renewals MRRG Mason Rd	211,701	211,701	19,246	19,246	0	
Black Spot Grant Construction								
	13703	Gilmore Avenue Pedestrian Crossing	262,073	262,073	262,073	2,159	(259,914)	Power connection planned for December.
	13887	Meares Road Challenger Avenue roundabout pre-deflection treatment	0	110,000	0	0	0	
Roads to Recovery Grant Construction								
	13700	Road Reseal Renewals RTR Pace Road	275,000	275,000	275,000	25,000	(250,000)	
	13701	Road Reseal Renewals RTR Orton Road	174,000	174,000	15,818	15,818	0	
	13702	Road Reseal Renewals RTR Milton Place	77,000	77,000	7,000	7,000	0	
DCA Funded Construction								
	13713	DCA 5 - Lyon Road - Cassowary to Kenby	437,250	437,250	0	0	0	
	13714	DCA 2 Millar Road Chg 470 to 577. Developer to complete	293,983	293,983	0	0	0	
	13715	DCA 2 Sunrise Boulevard Internal Collector Road (b) Lot 59 (Developer to complete)	351,079	351,079	0	0	0	
LRCI Projects								
	13853	Stefanelli Close - Road Resurfacing	0	75,000	0	0	0	LRCI Projects.
	13854	Wandi Drive - Road Resurfacing	0	85,000	0	0	0	LRCI Projects.
Municipal Road Construction								
	13698	Traffic Management - Breccia Parade speed calming	6,699	6,699	6,699	0	(6,699)	
	13699	General Traffic Management - Traffic calming	81,400	44,733	7,400	10,125	2,725	
Roads Total			3,642,090	3,875,423	1,186,326	226,538	(959,788)	

Capital Expenditure		Adopted Budget	Current Budget	YTD Budget	YTD Actual	YTD Variance	Comments
		\$	\$	\$	\$	\$	
Street Lighting							
	13683 Street Lighting - New - Leath Road	208,525	208,525	208,525	0	(208,525)	Installation by January.
	13684 Street Lighting Upgrade reactive work street light requests	27,980	27,980	0	905	905	
Street Lighting Total		236,505	236,505	208,525	905	(207,620)	
Bus Shelter Construction							
	13645 Bus Shelter Upgrades	36,630	36,630	3,330	6,221	2,891	Civil works completed.
Bus Shelter Construction Total		36,630	36,630	3,330	6,221	2,891	
Footpath Construction							
	13657 Footpath Renewals	50,875	50,875	0	4,918	4,918	
	13658 Gilmore Avenue Shared Path Stage 1 Design (Perth Bicycle Network LG Grants Program)	81,400	81,400	0	0	0	Design in progress.
	13659 Parmelia Avenue Shared Path Stage 1 Design (Perth Bicycle Network LG Grants Program)	58,800	58,800	0	0	0	Community consultation in progress.
	13821 Breccia Parade footpath	0	0	0	970	970	Carried forward from 2019/20. Project complete.
	13851 Barwell Road - Construction of 1.5m wide concrete footpath	0	30,720	30,720	33,498	2,778	LRCI Funding. Project complete.
	13852 Bilya Gardens - Construction of 2m wide concrete footpath	0	115,000	0	0	0	LRCI Funding. Construction to start end of November.
Footpath Construction Total		191,075	336,795	30,720	39,387	8,667	
Drainage Construction							
	13651 Drainage - DCA 2 Peel Sub N Drain - Lot 64 Woolcoot Road & Lot 379	1,093,205	1,093,205	0	3,887	3,887	Carried forward from 2019/20.
	13652 Drainage - DCA 2 - Peel Sub N1 Drain - Lot 378 & 90	334,000	334,000	0	0	0	
	13653 DCA1 Stormwater Management Infrastructure	572,473	572,473	0	2,500	2,500	Design work awarded.
	13654 DCA 3 Peel Sub P1 Drain Casuarina	1,164,627	1,164,627	0	0	0	
	13655 DCA 3 Peel Sub P1A Drain Casuarina	1,098,363	1,098,363	0	0	0	
	13656 DCA 3 Peel Sub P Drain Anketell South & Casuarina	1,186,647	1,186,647	0	0	0	
	13649 Drainage New Ocean Street	212,850	212,850	212,850	19,350	(193,500)	
	13650 Drainage New Pace Road	160,572	160,572	14,597	14,597	0	
Drainage Construction Total		5,822,737	5,822,737	227,447	40,334	(187,113)	
Capital Expenditure Total		19,121,835	19,606,501	2,719,800	1,496,120	(1,223,680)	



NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020

FINANCING ACTIVITIES
NOTE 7
BORROWINGS

Repayments - borrowings

Information on borrowings

Repayments - borrowings			Principal		Principal		Interest			
Information on borrowings			New Loans		Repayments		Outstanding		Repayments	
Particulars	Finalisation of Loan	1 July 2020	Actual	Current Budget	Actual	Current Budget	Actual	Current Budget	Actual	Current Budget
		\$	\$	\$	\$	\$	\$	\$	\$	\$
Governance										
Loan 99 - Administration Building Renovations	2024/25	576,328	0	0	0	101,532	576,327.77	474,796	0	38,476
WATC Short Term Lending Facility	TBA	0	0	5,000,000	0	5,000,000	0	0	0	11,371
Education and welfare										
Loan 96 - Youth Specific Space	2022/23	95,162	0	0	0	29,407	95,162.19	65,755	0	7,290
Loan 100 - Youth Specific Space	2027/28	1,270,494	0	0	0	134,365	1,270,493.50	1,136,129	0	66,272
Recreation and culture										
Loan 94 - Wellard Sports Pavilion	2021/22	108,836	0	0	25,941	52,709	82,894.56	56,127	3,472	6,728
Loan 95 - Orelia Oval Pavilion	2022/23	228,389	0	0	0	70,576	228,389.40	157,813	0	17,497
Loan 97 - Orelia Oval Pavilion Extension	2024/25	1,275,247	0	0	0	224,660	1,275,246.86	1,050,587	0	85,135
Loan 102 - Library & Resource Centre	2028/29	6,820,176	0	0	0	629,005	6,820,175.85	6,191,171	0	347,778
Loan 104 - Recquatic Refurbishment	2029/30	3,350,000	0	0	0	277,849	3,350,000.00	3,072,151	0	155,846
Loan 105 - Bertram Community Centre	2029/30	1,269,272	0	0	27,792	112,530	1,241,480.33	1,156,742	10,313	48,147
Loan 106 - Destination Park - Calista	2030/31	1,321,267	0	0	0	102,291	1,321,266.60	1,218,976	0	49,749
Transport										
Loan 98 - Streetscape Beautification	2024/25	778,043	0	0	0	137,066	778,042.61	640,977	0	51,943
Loan 101 - City Centre Redevelopment	2021/22*	2,500,000	0	0	0	0	2,500,000	2,500,000	30,875	79,250
B/Fwd Balance		19,593,213	0	5,000,000	53,733	6,871,990	19,539,480	17,721,223	44,660	965,482
Self supporting loans										
Recreation and culture										
Loan 103B - Golf Club Refurbishment	2031/32	249,972	0	0	0	17,269	249,972.37	232,703	0	9,869
		249,972	0	0	0	17,269	249,972	232,703	0	9,869
**Share of SMRC Loan		425,520	0	0	0	0	425,520.00	425,520	0	0
Total		20,268,705	0	5,000,000	53,733	6,889,259	20,214,972	18,379,446	44,660	975,351
Current borrowings		6,889,259					2,314,779.30			
Non-current borrowings		13,379,446					17,900,192.74			
		20,268,705					20,214,972			

*City Centre Redevelopment loan expected to be refinanced upon maturity in 2021/22, as the City awaits reimbursement from the State Government.

** Current portion of borrowings includes \$425,520, which represents the City's share of the Southern Metropolitan Regional Council (SMRC) Administration Building loan with the WATC.

KEY INFORMATION

All loans and borrowings are initially recognised at the fair value of the consideration received less directly attributable transaction costs. After initial recognition, interest-bearing loans and borrowings are subsequently measured at amortised cost using the effective interest method. Fees paid on the establishment of loan facilities that are yield related are included as part of the carrying amount of the loans and borrowings.

All debenture repayments were financed by general purpose revenue.

Self supporting loans are financed by repayments from third parties.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**

**OPERATING ACTIVITIES
NOTE 9
CASH RESERVES**

Cash backed reserve

Reserve name	Opening Balance	Budget Interest Earned	Actual Interest Earned	Budget Transfers In (+)	Actual Transfers In (+)	Budget Transfers Out (-)	Actual Transfers Out (-)	Budget Closing Balance	Actual Closing Balance
Municipal Reserves	\$	\$	\$	\$	\$	\$	\$	\$	\$
Aged Persons Units Reserve	741,044	9,404	724	195,678	0	(190,000)	0	756,126	741,768
Asset Management Reserve	5,163,247	151,936	19,622	0	0	(2,036,739)	(15,002)	3,278,444	5,167,867
Banksia Park Reserve	23,997	996	34	175,000	0	(246,050)	0	(46,057)	24,031
City Infrastructure Reserve	995,255	11,700	940	0	0	0	0	1,006,955	996,195
Community Services & Emergency Relief Reserve	340,995	4,084	2,212	0	0	(250,000)	0	95,079	343,207
Contiguous Local Authorities Group Reserve	265,918	3,156	533	21,504	0	(29,508)	0	261,070	266,451
Employee Leave Reserve	2,488,383	0	0	0	0	0	0	2,488,383	2,488,383
Employee Vacancy Reserve	500,233	6,000	751	0	0	0	0	506,233	500,984
Family Day Care Reserve	1,229,903	13,872	1,202	0	0	(46,706)	0	1,197,069	1,231,104
Golf Course Cottage Reserve	29,396	352	44	0	0	0	0	29,748	29,440
Golf Club Maintenance Reserve	8,846	108	13	5,004	0	(5,004)	0	8,954	8,859
Information Technology Reserve	2,597,169	34,760	1,964	0	0	(2,153,806)	(498,831)	478,123	2,100,301
Plant and Equipment Replacement Reserve	430,899	5,076	654	355,350	0	(744,150)	(30,849)	47,175	400,704
Public Arts Reserve	0	0	0	29,900	29,900	0	0	29,900	29,900
Refuse Reserve	5,644,888	0	0	3,000,000	0	(3,479,515)	0	5,165,373	5,644,888
Renewable Energy Efficiency Reserve	34,172	412	32	2,035	0	(2,035)	0	34,584	34,204
Restricted Grants & Contributions Reserve	2,187,985	0	0	0	0	(822,357)	(359,853)	1,365,628	1,828,132
Settlement Agreement Reserve	167,771	2,012	358	0	0	0	0	169,783	168,129
Workers Compensation Reserve	143,928	1,728	307	0	0	0	0	145,656	144,235
Sub-Total Municipal Reserves	22,994,028	245,596	29,389	3,784,471	29,900	(10,005,870)	(904,535)	17,018,225	22,148,782
Developer Contribution Reserves									
DCA 1 - Hard Infrastructure - Bertram	599,722	7,504	828	250,000	329,250	(713,153)	0	144,073	929,800
DCA 2 - Hard Infrastructure - Wellard	1,988,294	29,704	3,255	0	0	(2,117,556)	0	(99,558)	1,991,549
DCA 3 - Hard Infrastructure - Casuarina	0	0	0	3,499,637	0	(3,472,686)	0	26,951	0
DCA 4 - Hard Infrastructure - Anketell	521,489	6,484	1,412	0	53,024	(23,049)	0	504,924	575,926
DCA 5 - Hard Infrastructure - Wandi	427,218	5,312	1,169	20,000	27,881	(460,299)	0	(7,769)	456,267
DCA 6 - Hard Infrastructure - Mandogalup	274,056	4,776	524	0	0	(23,049)	0	255,783	274,579
DCA 7 - Hard Infrastructure - Wellard West	18,172	220	47	50,000	13,394	(23,049)	0	45,343	31,613
DCA 8 - Soft Infrastructure - Mandogalup	450,501	5,732	1,248	0	232,443	(24,120)	0	432,113	684,193
DCA 9 - Soft Infrastructure - Wandi/Anketell	11,941,274	142,840	31,270	0	0	(3,342,323)	0	8,741,791	11,972,544
DCA 10 - Soft Infrastructure - Casuarina/Anketell	204,182	2,700	599	0	0	(24,120)	0	182,762	204,782
DCA 11 - Soft Infrastructure - Wellard East	6,152,977	74,084	8,125	0	0	(24,120)	0	6,202,941	6,161,101
DCA 12 - Soft Infrastructure - Wellard West	8,468,096	101,872	11,170	0	172,217	(24,120)	0	8,545,848	8,651,483
DCA 13 - Soft Infrastructure - Bertram	263,326	3,408	754	0	0	(24,120)	0	242,614	264,079
DCA 14 - Soft Infrastructure - Wellard/Leda	706,921	8,104	1,922	0	8,813	(24,120)	0	690,905	717,656
DCA 15 - Soft Infrastructure - City Site	239,431	3,080	688	0	18,122	(24,120)	0	218,391	258,241
Sub-Total Developer Contribution Reserves	32,255,658	395,820	63,011	3,819,637	855,144	(10,344,004)	0	26,127,111	33,173,814
Total Reserves	55,249,686	641,416	92,400	7,604,108	885,044	(20,349,874)	(904,535)	43,145,336	55,322,596

Provider	Unspent operating grant, subsidies and contributions liability				Operating grants, subsidies and contributions revenue					Comments
	Opening Liability	Increase in Liability	Liability Reduction	Liability	Adopted Budget	Current Budget	Current Budget	Budget	Actual	
	1 July 2020	Liability	(As revenue)	31 Oct 2020	Receivable	Receivable	Revenue	YTD Revenue	YTD Revenue	
Operating grants, subsidies and contributions	\$	\$	\$	\$	\$	\$	\$		\$	
General purpose funding										
Local Government General Purpose Grant	0	125,798	(125,798)	0	314,584	314,584	314,584	78,646	125,798	Qtr 1 instalment received, higher than budgeted.
Local Government General Purpose Grant - Roads	0	98,066	(98,066)	0	270,000	270,000	270,000	67,500	98,066	Qtr 1 instalment received, higher than budgeted.
Non Rateable Property - Dampier to Bunbury Natural Gas Pipeline Corridor	0	0	0	0	175,570	175,570	175,570	0	0	
Law, order, public safety										
Department Fire and Emergency Services - ESL	47,043	47,043	(94,086)	0	181,180	188,172	188,172	92,338	94,086	\$47,043 First instalment of 2021 grant received early in June 20.
Department Fire and Emergency Services - RCTI ESG 1819	0	28,646	(28,646)	0	0	0	0	0	28,646	DFES Operating Grant from FY19 received July.
Western Australian Local Government (WALGA)	0	2,000	(2,000)	0	0	0	0	0	2,000	Review & development of plan for animal welfare in emergencies.
Health										
Mosquito Management Contributions (CLAG)	0	23,941	(23,941)	0	21,504	21,504	21,504	7,168	23,941	
Department of Health - Larvicide	0	0	0	0	2,000	2,000	2,000	2,000	0	
Education and welfare										
Banksia Park Operating Cost Contribution	0	115,440	(115,440)	0	346,320	346,320	346,320	115,440	115,440	
Family Daycare - Mainstream Childcare Benefit Subsidy	0	853,419	(853,419)	0	3,436,608	3,436,608	3,436,608	1,145,536	853,419	
Family Daycare - Subsidy Other	0	200,285	(200,285)	0	46,476	46,476	46,476	15,492	200,285	
Family Daycare - Inclusion Subsidy Scheme	0	0	0	0	5,160	5,160	5,160	1,720	0	
In-Home Care - CCB Subsidy	0	309,405.03	(309,405)	0	900,000	900,000	900,000	300,000	309,405	
In-Home Care - Subsidy - Department of Communities	0	34,277	(34,277)	0	10,320	10,320	10,320	3,440	34,277	
Family Day Care Sustainability Grant	80,904	31,180	(31,180)	80,904	62,360	62,360	62,360	31,180	31,180	
NGALA My Time Program	0	5,280	(5,280)	0	10,560	10,560	10,560	2,640	5,280	
Operational Subsidy - Aboriginal Resource Worker	0	15,257	(15,257)	0	31,500	31,500	31,500	15,257	15,257	
Library Contributions and Donations	0	55	(55)	0	0	0	0	0	55	
Youth Social Justice Program	0	89,380	(89,380)	0	174,000	174,000	174,000	87,000	89,380	
Youth Leadership and Development LYRIK	0	0	0	0	30,000	30,000	30,000	20,000	0	
Youth Intervention Program	0	0	0	0	20,000	20,000	20,000	20,000	0	
Youth Spaces Activation	0	0	0	0	5,000	5,000	5,000	5,000	0	
Community amenities										
PTA Bus Shelter Subsidy	0	0	0	0	7,000	7,000	7,000	0	0	
SMCC - KIC Coastcare in the KIA	0	0	0	0	12,518	12,518	12,518	0	0	
SMCC - BP Coastcare	0	0	0	0	10,000	10,000	10,000	0	0	
SMCC - Perth Region NRM Kleenheat Project	0	0	0	0	0	0	0	0	0	
SMCC - Tronox Adopt a Beach	0	0	0	0	5,000	5,000	5,000	0	0	
SMCC - Suez/ProAlliance Adopt a Beach	0	0	0	0	5,000	5,000	5,000	0	0	
Greening fund	62,853	0	0	62,853	62,852	62,852	62,852	0	0	\$100k Grant received in 2018.
Bin Tagging Funding	0	0	0	0	12,000	12,000	12,000	0	0	
Sustainability Workshops	0	0	0	0	7,000	7,000	7,000	0	0	
Grow it Local	3,230	0	0	3,230	19,000	19,000	19,000	0	0	
Recreation and culture										
Shared Use Agreements	0	74,134	(74,134)	0	100,911	100,911	100,911	58,511	74,134	
Stay on Your Feet Program - Injury Matters	0	0	0	0	3,230	3,230	3,230	0	0	
Community Centres donations	0	1,000	(1,000)	0	0	0	0	0	1,000	
Australia Day branding grant	0	1,000	(1,000)	0	0	0	0	0	1,000	
Transport										
Main Roads Annual Direct Grant	0	191,745	(191,745)	0	190,000	190,000	190,000	190,000	191,745	
Main Roads Street Light Subsidy	0	0	0	0	6,000	6,000	6,000	0	0	
Main Roads Maintenance Contribution	0	0	0	0	134,000	134,000	134,000	0	0	
TOTALS	194,030	2,247,351	(2,294,394)	146,987	6,617,653	6,624,645	6,624,645	2,258,868	2,294,394	

Provider	Unspent non operating grants, subsidies and contributions liability				Non operating grants, subsidies and contributions revenue						Comments
	Liability 1 July 2020	Increase in Liability	Liability Reduction (As revenue)	Liability 31 Oct 2020	Adopted Budget Receivable	Current Budget Receivable	Adopted Budget Revenue	Current Budget Revenue	Budget YTD Revenue	Actual YTD Revenue	
	\$	\$	\$	\$	\$	\$		\$		\$	
Non-operating grants, subsidies and contributions											
Law, order, public safety											
Department Premier & Cabinet - Kwinana South extensions	30,000	0	0	30,000	431,000	431,000	431,000	431,000	0	0	
Department Premier & Cabinet - Mandogalup extensions	13,151	0	(13,151)	0	328,159	328,159	328,159	328,159	0	13,151	Final recognition of Grant received FY19. Project complete.
Department Fire and Emergency Services - Mandogalup Ablutions	20,894	89,930	(110,824)	0	0	0	0	0	0	110,824	Final 25% claim received October. Project complete.
Recreation and culture											
Medina Oval Extension/Upgrade - Changeroom Development	0	0	0	0	400,000	400,000	400,000	400,000	0	0	
Department of Infrastructure - Thomas Oval Lighting	0	0	0	0	150,000	37,500	150,000	37,500	0	0	
Department of Education - McWhirter Promenade and Johnson Road landscaping	55,663	0	0	55,663	0	0	0	0	0	0	
Department of Education - Breccia Parade Footpath	2,547	0	(2,547)	0	0	0	0	0	0	2,547	
Local Roads and Community Infrastructure Program	0	0	0	0	0	229,000	0	229,000	0	0	
Lotterywest - Kwinana Loop Trail	0	38,000	(38,000)	0	0	0	0	0	0	38,000	
Transport											
Roads to Recovery - Pace Road Re-seal	0	0	0	0	275,000	275,000	275,000	275,000	275,000	0	
Roads to Recovery - Orton Road Re-seal	0	0	0	0	174,000	174,000	174,000	174,000	0	0	
Roads to Recovery - Milton Place Re-seal	0	0	0	0	48,903	48,903	48,903	48,903	0	0	
State Road Grant - Wellard Road Duplication Project	0	0	0	0	142,997	142,997	142,997	142,997	0	0	
State Road Grant - Road Reseal - Ocean Street	0	90,976	(90,976)	0	230,133	230,133	230,133	230,133	184,106	90,976	
State Road Grant - Road Reseal - Cockburn Road NB	0	11,739	(11,739)	0	30,933	30,933	30,933	30,933	12,373	11,739	
State Road Grant - Road Reseal - Leath Road 1	0	26,480	(26,480)	0	66,200	66,200	66,200	66,200	26,480	26,480	
State Road Grant - Road Reseal - Leath Road 2	0	12,664	(12,664)	0	33,133	33,133	33,133	33,133	13,253	12,664	
State Road Grant - Road Reseal - Leath Road 3	0	104,604	(104,604)	0	263,533	263,533	263,533	263,533	105,413	104,604	
State Road Grant - Road Reseal - Mandurah Road SB1	0	49,460	(49,460)	0	125,533	125,533	125,533	125,533	100,426	49,460	
State Road Grant - Road Reseal - Mandurah Road NB 2	0	16,673	(16,673)	0	43,200	43,200	43,200	43,200	17,280	16,673	
State Road Grant - Road Reseal - Mason Rd	0	55,376	(55,376)	0	141,133	141,133	141,133	141,133	56,453	55,376	
Black Spot - Gilmore Avenue Pedestrian Crossing	30,940	0	(30,940)	0	158,740	158,740	158,740	158,740	124,000	30,940	
Black Spot - Meares Road - roundabout deflection treatment	0	0	0	0	0	73,333	0	73,333	0	0	
Perth Bicycle Network LG Grant - Gilmore Avenue Shared Path Stage 1 Design	0	8,140	(8,140)	0	40,700	40,700	40,700	40,700	0	8,140	
Perth Bicycle Network LG Grant - Parmelia Avenue Shared Path Stage 1 Design	0	5,880	(5,880)	0	29,400	29,400	29,400	29,400	0	5,880	
Local Roads and Community Infrastructure Program	0	267,360	0	267,360	0	305,720	0	305,720	0	0	
Economic services											
Medina CCTV Grant	10,007	0	0	10,007	0	0	0	0	0	0	
Community amenities											
DCA 1 - Hard Infrastructure - Bertram	599,722	504,507	0	1,104,229	257,504	257,504	713,153	713,153	0	0	
DCA 2 - Hard Infrastructure - Wellard	1,988,294	16,847	0	2,005,140	29,704	29,704	2,095,316	2,095,316	0	0	
DCA 3 - Hard Infrastructure - Casuarina	0	0	0	0	3,499,637	3,499,637	3,472,686	3,472,686	0	0	
DCA 4 - Hard Infrastructure - Anketell	521,489	53,024	0	574,514	6,484	6,484	23,049	23,049	0	0	
DCA 5 - Hard Infrastructure - Wandi	427,218	27,881	0	455,098	25,312	25,312	460,299	460,299	0	0	
DCA 6 - Hard Infrastructure - Mandogalup	274,056	297,311	0	571,366	4,776	4,776	23,049	23,049	0	0	
DCA 7 - Hard Infrastructure - Mandogalup (west)	18,172	24,410	0	42,582	50,220	50,220	23,049	23,049	0	0	
DCA 8 - Soft Infrastructure - Mandogalup	450,501	859,335	0	1,309,837	5,732	5,732	24,120	24,120	0	0	
DCA 9 - Soft Infrastructure - Wandi / Anketell	11,941,274	150,355	0	12,091,629	142,840	142,840	3,342,323	3,342,323	0	0	
DCA 10 - Soft Infrastructure - Casuarina/Anketell	204,182	0	0	204,182	2,700	2,700	24,120	24,120	0	0	
DCA 11 - Soft Infrastructure - Wellard East	6,152,977	0	0	6,152,977	74,084	74,084	24,120	24,120	0	0	
DCA 12 - Soft Infrastructure - Wellard West	8,468,096	726,308	0	9,194,404	101,872	101,872	24,120	24,120	0	0	
DCA 13 - Soft Infrastructure - Bertram	263,326	0	0	263,326	3,408	3,408	24,120	24,120	0	0	
DCA 14 - Soft Infrastructure - Wellard / Leda	710,202	66,913	0	777,116	8,104	8,104	24,120	24,120	0	0	
DCA 15 - Soft Infrastructure - Townsite	236,150	10,355	0	246,505	3,080	3,080	24,120	24,120	0	0	
TOTALS	32,418,859.53	3,514,528	(577,454)	35,355,933.92	7,328,154	7,823,707	13,434,461	13,930,014	914,784	577,454	Developer Contributions are estimated at budget, but actual receipts rely on the timing of subdivisions.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**

**NOTE 12
TRUST FUND**

Funds held at balance date over which the City has no control and which are not included in this statement are as follows:

Description	Opening Balance 1 July 2020	Amount Received	Amount Paid	Closing Balance 31 Oct 2020
	\$	\$	\$	\$
APU Security Bonds	17,934	2,000	0	19,934
Contiguous Local Authorities Group (CLAG)	3,594	835	0	4,429
Public Open Space Cash In Lieu	283,848	0	0	283,848
	305,376	2,835	0	308,211

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 OCTOBER 2020**

**NOTE 13
BUDGET VARIATIONS**

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Increase / (Decrease) to Net Surplus	Amended Budget Running Balance
		\$	\$
24/06/2020	Annual Budget adoption	0	0
12/08/2020	Non-Operating Grants & Contributions - Local Roads and Community Infrastructure Program	534,720	
	Capital projects expenditure- Buildings	(229,000)	
	Capital projects expenditure - Footpaths	(145,720)	
	Capital projects expenditure - Roads	(160,000)	0
26/08/2020	Opening Surplus Adjustment	25,000	
	Capital project expenditure - Plant & Equipment - Recquatic upgrades	(25,000)	
	Opening Surplus Adjustment	3,540	
	Transfer from Reserve - Restricted Grants and Contributions Reserve	7,000	
	Capital project expenditure - Furniture & Equipment - Mayoral Chains	(10,540)	0
9/09/2020	Reallocation of budgets between Capital building projects as did not meet LRCI criteria		
	W13856 - Maydwell Way - Window screens renewal	7,000	
	W13855 - Magenup Equestrian Centre - Stable renovation	7,000	
	W13633 - Sloans Cottage Accessibility Works	(14,000)	0
	Allocation of FESA ESL Grant received		
	FESA ESL Grant - Govt Grant State	6,992	
	FESA ESL - Kwinana South Vehicle Expenses	(1,320)	
	FESA ESL - Mandogalup Vehicle Expenses	(1,321)	
	FESA ESL - Kwinana South Plant & Equipment Purchases	(1,422)	
	FESA ESL - Mandogalup Plant & Equipment Purchases	(2,929)	0
20/09/2020	Transfer of Insurance proceeds from stolen statue to Public Arts Reserve.		
	Insurance Proceeds	29,900	
	Transfer to Public Arts Reserve	(29,900)	0
	Reallocation of capital funding.		
	W13833 - Pool upgrades to align with new chlorine gas standard.	(7,000)	
	W13642 - Backwash tank no longer required	7,000	
	Transfer from Reserve Asset Mgmt Reserve - to W13833 Pool Upgrades	7,000	
	Transfer from Reserve Asset Mgmt Reserve - to W13642 25m backwash tank lid	(7,000)	
	W13630 - Darius Wells Automated Disabled toilet doors - additional expenditure	(5,000)	
	W13628 - John Wellard CC Stormwater system	5,000	
	Transfer from Asset Management Reserve - W13630 Darius Wells Automated Doors	5,000	
	Transfer from Asset Management Reserve - W13628 John Wellard Community Centre Stormwater System	(5,000)	0
14/10/2020	Reallocation of capital funding to Kwinana South VBFB Station.		
	W13624 - Transfer from Asset Management Reserve (savings in Parmelia House roof renovation)	32,700	
	W13620 - Transfer from Asset Management Reserve to Kwinana South VBFB Station upgrade	(32,700)	
	W13624 - Capital Expenditure - savings in Parmelia House roof renovation	(32,700)	
	W13620 - Capital Expenditure- Kwinana South VBFB Station upgrade.	32,700	
	Site works construction costs not allowed for under DFES funding.		0
28/10/2020	Reallocation of fleet vehicle replacement Plant 551.		
	W13692/W13886 - Capital Expense - Plant and equipment	(10,000)	
	W13692/W13886 - Reserve Transfer - Plant and Equipment Replacement Reserve	10,000	0
	Playground remediation work for Gemstone Park - reallocation of Parks for People Strategy funding.		
	Capital Expense - Parks for People Strategy - Gemstone Park	(129,360)	
	Capital Expense - Parks for People Strategy - Ascot Park	143,680	
	Transfer from Asset Management Reserve	(14,320)	0

Amendments to original budget since budget adoption. Surplus/(Deficit)

GL Code	Description	Increase / (Decrease) to Net Surplus	Amended Budget Running Balance
		\$	\$
28/10/2020	Main Roads Black Spot funding (2/3) to construct pre-deflection treatment at Meares Avenue.		
	Capital Expense - Meares Avenue - Challenger Avenue roundabout pre deflection treatment	(110,000)	
	W13699 - Traffic Management - Traffic Calming	36,667	
	W13699 Transfer from Asset Management Reserve	(36,667)	
	W13887 Transfer from Asset Management Reserve	36,667	
	Capital Revenue - Grant - Black Spot Grant Funding	73,333	0
	In-house delivery of Age Friendly Strategy.		
	Operating expense - City Engagement Admin - Salaries	(75,000)	
	Operating expense - City Executive - Consultancy	75,000	0
	Thomas Oval Lighting carried forward from 2019/2020.		
	Capital Expense - Reserve Development - Sport - Thomas Oval Lighting	134,607	
	Capital Revenue - Grant - Department of Sport and Recreation	(112,500)	
	Reserve transfer - Restricted Grants and Contributions - Thomas Oval Lighting	(54,613)	
	Opening Surplus	32,506	0
	Maintenance of Wellard sub drain for 21months following handover per Development Contribution Plan.		
	Operating expense - Drainage maintenance - Wellard	(22,240)	
	Reserve transfer - DCA 2 Reserve	22,240	0
		0	0

KEY TERMS AND DESCRIPTIONS
FOR THE PERIOD ENDED 31 OCTOBER 2020

REVENUE

RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

NATURE OR TYPE DESCRIPTIONS

EXPENSES

EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance agreements, communication expenses, advertising expenses, membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

18.2 Accounts for payment for the month ended 31 October 2020

DECLARATION OF INTEREST:

SUMMARY:

The purpose of this report is to present to Council a list of accounts paid under delegated authority for the month ended 31 October 2020, as required by the *Local Government (Financial Management) Regulations 1996*.

OFFICER RECOMMENDATION:

That Council:

1. **Accepts the list of accounts, totalling \$5,985,687.67, paid under delegated authority in accordance with Regulation 13(1) of the *Local Government (Financial Management) Regulations 1996* for the period ended 31 October 2020, as contained within Attachment A.**
2. **Accepts the detailed transaction listing of credit card expenditure paid for the period ended 31 October 2020, as contained within Attachment B.**

DISCUSSION:

Council has delegated, to the Chief Executive Officer, the exercise of its power to make payments from the City's Municipal and Trust funds. In accordance with Regulation 13 of the *Local Government (Financial Management) Regulations 1996* a list of accounts paid is to be provided to Council, where such delegation is made.

The following table summarises the payments for the period by payment type, with full details of the accounts paid contained within Attachment A.

Payment Type	Amount (\$)
Automatic Payment Deductions	\$ 44,334.54
Cheque Payments #201031 to #201032	\$ 344.10
EFT Payments #4098 to #4110	\$ 4,632,777.76
Payroll Payments 04/10/20 and 18/10/20 and Interim Payroll Payments 04/10/20 and 30/10/20	\$ 1,308,231.27
Total Attachment A	\$ 5,985,687.67

Contained within Attachment B is a detailed transaction listing of credit card expenditure paid for the period ended 31 October 2020. This amount is included within the total payments, listed above.

18.2 ACCOUNTS FOR PAYMENT FOR THE MONTH ENDED 31 OCTOBER 2020**LEGAL/POLICY IMPLICATIONS:**

Regulation 13 of the *Local Government (Financial Management) Regulations 1996* states:

13. *Payments from municipal fund or trust fund by CEO, CEO's duties as to etc.*

- (1) *If the local government has delegated to the CEO the exercise of its power to make payments from the municipal fund or the trust fund, a list of accounts paid by the CEO is to be prepared each month showing for each account paid since the last such list was prepared —*
 - (a) *the payee's name; and*
 - (b) *the amount of the payment; and*
 - (c) *the date of the payment; and*
 - (d) *sufficient information to identify the transaction.*
- (2) *A list of accounts for approval to be paid is to be prepared each month showing*
 - (a) *for each account which requires council authorisation in that month —*
 - (i) *the payee's name; and*
 - (ii) *the amount of the payment; and*
 - (iii) *sufficient information to identify the transaction;*
and
 - (b) *the date of the meeting of the council to which the list is to be presented.*
- (3) *A list prepared under subregulation (1) or (2) is to be —*
 - (a) *presented to the council at the next ordinary meeting of the council after the list is prepared; and*
 - (b) *recorded in the minutes of that meeting.*

FINANCIAL/BUDGET IMPLICATIONS:

There are no financial implications that have been identified as a result of this report or recommendation.

ASSET MANAGEMENT IMPLICATIONS:

There are no asset management implications that have been identified as a result of this report or recommendation.

ENVIRONMENTAL IMPLICATIONS:

There are no environmental implications that have been identified as a result of this report or recommendation.

18.2 ACCOUNTS FOR PAYMENT FOR THE MONTH ENDED 31 OCTOBER 2020**STRATEGIC/SOCIAL IMPLICATIONS:**

This proposal will support the achievement of the following outcome and objective detailed in the Corporate Business Plan.

Plan	Outcome	Objective
Corporate Business Plan	Business Performance	5.4 Ensure the financial sustainability of the City of Kwinana into the future

COMMUNITY ENGAGEMENT:

There are no community engagement implications that have been identified as a result of this report or recommendation.

PUBLIC HEALTH IMPLICATIONS

There are no implications on any determinants of health as a result of this report.

RISK IMPLICATIONS:

The risk implications in relation to this proposal are as follows:

Risk Event	That Council does not accept the payments
Risk Theme	Failure to fulfil statutory regulations or compliance requirements
Risk Effect/Impact	Compliance
Risk Assessment Context	Operational
Consequence	Minor
Likelihood	Possible
Rating (before treatment)	Low
Risk Treatment in place	Reduce – mitigate risk
Response to risk treatment required/in place	Officers provide a full detailed listing of payments made in a timely manner
Rating (after treatment)	Low

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Automatic Deductions			
Commonwealth Bank	051020A	Credit card Functions Officer to 051020	769.62
Commonwealth Bank	051020B	Credit card Executive Assistant to 051020	112.00
Commonwealth Bank	051020C	Credit card Coordinator Environmental Health to 051020	344.49
Commonwealth Bank	051020D	Credit card Director City Development to 051020	1,567.00
Commonwealth Bank	051020E	Credit card Manager Customer & Communications to 051020	28.21
Commonwealth Bank	051020F	Credit card Chief Executive Officer to 051020	10.61
Commonwealth Bank	051020G	Credit card A/Manager Customer & Communications to 030920	2,158.58
Commonwealth Bank	051020H	Credit card Manager Human Resources to 051020	6,129.29
BP Australia Pty Ltd	11264876	Fleet fuel 010920 to 300920	13,758.95
iinet Technologies Pty Ltd	122519288	Monthly internet charges October 2020	589.93
Windcave Pty Ltd	1580591	Monthly service fees June 2020 to May 2021	55.00
Ampol Australia Petroleum Pty Ltd	0301887285	Fleet fuel 010920 to 300920	6,434.02
Fines Enforcement Registry	2535256	Lodgement fee for unpaid infringements	539.00
Fines Enforcement Registry	26575835	Lodgement fee for unpaid infringements	77.00
Go Go On-Hold Pty Ltd	00043670	On hold phone message system October 2020	198.00
Wright Express Australia Pty Ltd	59	Fleet fuel 010920 to 300920	687.52
Toyota Fleet Management	825678	Fleet management October 2020	1,194.07
TPG Internet Pty Ltd	I245545306	Kwinana South Station internet connection	59.99
TPG Internet Pty Ltd	I245956662	Mandogalup Station internet connection	59.99
Sprout Social	INV-0816	Social media additional users pro rata x18	139.42
Sprout Social	INV-1379	Social media scheduling tool 210920 to 200921	9,421.85
Total Automatic Deductions			-44,334.54
Cheques			
City Of Kwinana - Pay Cash	01102020Village	Petty cash recoup to Village 011020	143.35
City Of Kwinana - Pay Cash	231020 Library	Petty cash recoup to Library 231020	200.75
Total Cheques			-344.10
EFT			
EFT TRANSFER: - 01/10/2020			409,485.27

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Steven William Summerell	5.2	Rates Refund	200.48
Matting Solutions WA	00015854	Safety matting for Recquatic	617.40
Timothy Marc Molnar-Hammond	4.9	Rates Refund	500.00
Kaye Sandra Walker	24September20	Seniors security subsidy scheme 2020/2021	250.00
Paint Industries	62191	Eco green graffiti remover 5lt	907.50
Retech Rubber	00003120	Repair softfall at Kwinana Adventure Park	313.50
	00003187	Repair softfall at Sandringham Park Park	357.50
	00003356	Repair softfall at Honeywood Park	467.50
Port Printing Works	INV057598	Kwinana Swim School term calendars	237.60
Meta Maya Group	G42002816	Asbestos survey Kwinana Tennis Club	544.50
Ecoburbia	125750	Online Compost Workshop September 20	660.00
Sonic Health Plus	2150052	Pre-employment medical assessment 100920	198.00
Turf Care WA Pty Ltd	INV-1069	Vertimow Calista Oval	6,340.95
	INV-1070	Vertimow Wells Park	7,276.50
	INV-1068	Weed spray treatments various grounds	8,715.85
	INV-1071	Verti drainworks Wells Park	990.00
Dowsing Group Pty Ltd	14472	Construction of footpath Matson St	1,320.00
Air & Power Pty Ltd	66537	Servicing of air compressors	1,825.03
Julia Kay Wallis	2020-2021-008	Oral history interviews and transcripts	313.43
	2020-2021-009	Oral history interviews and transcripts	466.62
Epoch Training	20196	Money Wellness workshop September 20	750.00
Red Oxygen Pty Ltd	C100206490-49929	Licence and message charges 270820 to 260920	45.32
Rockingham Betta Electrical & Gas	32410016313	Callistemon U44 install new cooker	2,137.00
Datacom Solutions (AU) Pty Ltd	EXT00159157	Monthly website licence September 20	1,870.00
Mackie Plumbing and Gas Pty Ltd	I95567	Callistemon U57 repair burst copper pipe in roof	149.74
	I95565	Callistemon U14 repair blocked shower pipes	139.35
	I95562	Callistemon U10 repair to toilet cistern	18.43
	I95574	Callistemon U16 remove shower fixtures	417.25
	I95509	Repair HWS to The Zone	384.10
	I95510	Repair leaking tap at Recquatic	392.93
	I95515	Repair leaking cistern at Recquatic	320.69
	I95516	Repair leaking showers at Recquatic	492.14
	I95517	Repair boiler unit at Thomas Kelly Pavilion	202.68
	I95563	Unblock toilets at Challenger Beach Toilets	192.39
	I95566	Remove blockage male Challenger Toilets	158.97
	I95568	Repair leaking toilet to Darius Wells	497.62
	I95569	Inspect sewer at Kwinana Rotary Club	555.65
	I95572	Install Rheem HWS to Thomas Kelly Pavilion	3,135.00
	I95573	Replace shower sensors at Thomas Kelly Pavilion	73.70
	I95508	Replace shower mixer handle at Darius Wells	226.14
	I95433	Replace basins in Admin building	1,298.00
	I95570	Callistemon U17 repair blocked kitchen sink	277.05
Friends of the Community Inc.	430	Morning tea workshop 170920	510.00
Steve de Meillon	29September20	Reimbursement of catering for Median Place Plan	93.50
Kwinana Butcher Pty Ltd T/As Kwinan	00000018	SCP Community Engagement prize	100.00
Local Government Professionals NSW	57245PE2021	Performance Excellence Program 2020	13,805.00
Micro Products Australia	00008316	1 x Rechargeable bluetooth reader writer scanner	660.00
Neil Thomas Hughes	24September20	Seniors security subsidy scheme 2020/2021	250.00
Alan Ward	24September20	Overpayment on booking #L6766	139.00
Daniel Joseph Oughton	4.8	Rates Refund	264.45

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Matthew James Capone	5.0	Rates Refund	665.04
Mark Hay Realty Group	5.1	Rates Refund	461.58
Maria Rachel Materoa Hurihanganui	1698307	Refund bond on Medina Hall	2,000.00
Dana Lee Hoefel	1699624	Refund bond on The Patio	100.00
Alison Ali Awasi	1706127	Refund bond on Tuart Room	2,000.00
Aidan Wesley Davies	1715309	Refund bond on The Patio	100.00
Catrina Kwan	1728932	Refund bond on The Patio	100.00
Helena MacDonald	1735410	Refund bond on The Patio	100.00
Brooke Mitchell	1737517	Refund bond on The Patio	100.00
Claire Leah Atherton	25September20	Refund of dog registration fees ID# 30264	150.00
Satellite Security Services	IV009329	Repair fault on panel at Wellard Pavilion	110.00
	IV009332	Remote coding for Bright Futures	50.00
	IV009371	Inspect toilet lock at Adventure Playground	137.50
	IV009373	Service siren at Fiona Harris Pavilion	137.50
	02030761	Security monitoring 010920 to 311220	572.00
Sealanes (1985) Pty Ltd	F6057996a	Assorted drinks for Mandogalup station	68.46
	F6057996	Assorted drinks for Mandogalup station	273.85
	F6057977	Assorted drinks for Mandogalup station	501.37
Rockingham Kwinana Chamber of Comme	1256	Sponsorship of Corporate Golf Day for 2020	550.00
Sunny Sign Company Pty Ltd	442281	13mm banding stainless steel x 30m	143.00
Toll Transport Pty Ltd	1092371	Transport services food water sampling analysis	61.40
Wormald Australia Pty Ltd	8292669	Install new smoke detector Recquatic	1,539.01
Western Australian Local Government	I3084064	Federal Regional Sporting Facilities stage 1	1,515.55
Water Corporation of Western Austra	9020528305Sep20	11U Cavendish Blvd Reserve	28.39
	9021923200Sep20	3U Drinking fountain at Indigo Bend	7.74
	9017125687Sep20	1U Reserve at Walden Street	2.58
	9019383145Sep20	40U Drinking fountain at Coleford Rd	103.24
	9021239484Sep20	0U Drinking fountain at Ryhill Cr	46.60
	9000323724Sep20	21U Frank Konecny	336.19
	9014051352Sep20	15U Bertram Community	602.30
	9014249617Sep20	2U Bertram Oval Club facility	569.14
	9013918698Sep20	5U Drinking fountain at Moombaki Ave	15.43
	9022521254Sep20	18U Pocket Park	46.46
Zipform Pty Ltd	198926	Fire control notice 2020	7,214.63
Taylor Tyres Pty Ltd	21934	Two tyres for KWN2107	556.60
	21933	Two tyres for 1TUP604	365.20
	21935	Three tyres for KWIN2053	834.90
Arteil	00076314	Gryphon adjustable chair	847.00
Beaurepaires Tyres Kwinana	6411608896	Tyre replacement for 1GPL248	668.64
Absolute Painting Services	INV-1610	Callistemon U44 repaint internal walls	1,540.00
Beaver Tree Services Aust Pty Ltd	74722	Additional tree planting at various locations	5,211.95
	74747	Powerline clearance tree pruning in Parmelia	88,316.10
	74719	General vegetation clearance Kenton Way	625.57
	74720	Install 6mtrs of root barrier to Taylor Close	943.40
	74721	Stump grinding at Braddock Rd	4,349.46
Synergy	169027380Aug20	0U Entry statement lighting Gemstone/Johnston	106.93
Bob Jane Corporation Pty Ltd	0096418135	Puncture repair to KWN1942	26.40
Prestige Catering & Event Hire	INV-1842	Catering 230920	433.80
Bouvard Earthmoving	00006500	Hire of equipment for Hope Valley & Naval Base	5,610.00

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
ZircoData Pty Ltd	ZDW0142349	Offsite storage pick up and retrieval to 250920	1,268.75
ABCO Products	605735	Hand soap and hand sanitiser	144.46
	599357	Toiletries supply various locations	250.86
Allcom Communications	30197	Install radio into KWN2026	579.37
Bunnings Building Supplies	2163/01570650	Hardware to repair splash pad at Adventure Park	35.87
	2163/01572335	Door handle replacement for Admin Building	41.13
	2163/01572129	Hardware for Wellard Pavilion	79.62
	2163/01574930	Wall brackets for Recquatic Centre	143.73
Quality Press	INV038380	Various DFES stationery & printing items	311.80
Technology One Limited	194431	OneCouncil implementation fees	37,633.75
Westrac Equipment Pty Ltd	SI 1511206	Mechanical repairs for Road Roller 1DDW108	1,642.25
Natural Area Holdings P/L t/as Natu	00013961	Bushland reserve contracted weed control services	29,123.33
Homebuyers Centre Pty Ltd	Refund	BP2020/511 refund	927.69
Civica Pty Ltd	C/LG019065	Authority support service	5,500.00
Western Maze Pty Ltd	00001009	Greenwaste collection go backs 180920	899.81
BullAnt Security Pty	10203274	Supply and duplicate keys	51.56
Coastline Mowers	25205#5	Hedge trimmer repairs	374.00
Wai Kei Vicky Chui	29September20	Reimbursement of food sampling costs	8.00
Winc Australia Pty Ltd	9033844948	Stationery items for Admin	6.47
ED Property Services	00001587	Callistemon U2 tile kitchen splashback	660.00
	00001589	Callistemon U16 repair tiling in shower recess	374.00
	00001588	Callistemon U2 repair cracks in wall	660.00
Patricia Maria Kursar	23September20	Payment of savings and interest Christmas Saver	1,890.89
T J Depiazzi & Sons	109805	Supply and deliver pinebark mulch to Depot	3,259.85
JB Hi-Fi Rockingham	103098983-100	Recquatic Come to Life prizes	997.00
EnviroLab Services (WA) Pty Ltd	PE654854	Water sample analysis	110.00
Quell Clean	00052935	Banksia V62 tile and grout cleaning	60.00
Tony Aveling & Associates Pty Ltd	I0038145	Safety and Health introductory course	990.00
Eco Resources Pty Ltd	00040149	Disposal of sand and debris from road shouldering	5,152.95
Master Lock Service	00007194	Remove lock on scanner machine & cut key to suit	160.00
Goodchild Enterprises	443090	12V Batteries x 3 for City Operations team	476.30
Programmed Maintenance Services Ltd	SINV588725	Banksia Park/Callistemon Court gardening & lawn mowing Sep 20	10,257.86
Flexi Staff Pty Ltd	I0001985	Temp staff week ending 200920	1,893.88
Forpark Australia Pty Ltd	46441	Basketball rings for various locations	1,067.00
Zenien Pty Ltd T/as ATFT Astuta Tru	17909	Security install Calista Oval maintenance shed	2,682.90
CMS Engineering Pty Ltd	38849	Air conditioning maintenance various sites Aug 20	7,480.00
	38808	Replace 2 faulty exhaust fans at Parmelia House	1,540.00
	38841	Repair water leak to Recquatic duct	1,929.40
	38969	Repair AC units at Margaret Feilman	1,980.00
	38970	Repair fridge at Margaret Feilman	2,275.90
	38973	Inspect AC units at Margaret Feilman	1,804.00
	38974	Repairs to coolroom at Margaret Feilman	2,901.80
	38975	Repair leaking AC in stadium at Recquatic	506.00
	38976	Repair leaking fridge at Parmelia House	1,683.00
	38977	Replace pumps to AC at Parmelia House	2,299.00
	38807	Install air grille and sensor at Darius Wells	1,650.00
	38836	Repair trip in heater at Recquatic	329.70
ALSCO Pty Ltd	CPER2070559	Linen hire for OCM Dinners	59.63

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Castrol Lubricants	25037589	Supply of Magnatec oil and diesel oil	2,106.18
Imagesource Digital Solutions	453665	Medina Heritage Walk roster sign	188.10
	453627	Love My Kwinana signage	291.50
	453636	Wildflower Walk floor decals	933.90
Woolworths Group Limited	3995144	Items for the Zone	34.89
	71900939	Items for Admin Bldg	101.65
	73833966	Items for City Operations Team	127.52
Elexacom	110977	Banksia V46 replace bathroom light switch	174.72
	110963	Callistemon U44 install switch to HWS	533.47
	110959	Banksia V62 replace light switch and exhaust fan	241.97
	110965	Banksia V58 replace smoke detector	205.93
	110900	Replace batteries to Recquatic pool units	547.45
	110954	Electrical work in Admin Building	6,586.02
	110970	RCD testing Fiona Harris Pavilion	88.00
	110971	RCD testing Koorliny Community Arts	269.50
	110972	RCD testing Kwinana Tennis Club	44.00
	110973	RCD testing William Bertram	110.00
	110974	Tag testing at Recquatic	242.00
	110975	Emergency and evacuation testing for Incubator	176.00
	110976	Emergency and evacuation testing for Medina Hall	176.00
	110978	Replace globe at Medina Hall	220.00
	110829	Repair siren at Skate Park	269.50
	110898	Investigate lights at Fiona Harris Pavilion	154.00
	110902	Maintenance light repairs to Wellard Pavilion	1,564.64
	110919	UV system repairs at Casuarina Fire Station	1,535.15
	110962	Repaired external wall light to entry of Depot	93.45
	110966	RCD testing at John Wellard Community Centre	192.50
	110967	RCD testing at Wheatfield Cottage	66.00
	110968	RCD testing at the Zone	154.00
	110969	RCD testing at the Senior Citizens Centre	66.00
	110979	Preventative maintenance repairs at Darius Wells	1,422.69
	111002	Replaced faulty hand dryer at Recquatic Centre	2,329.50
	110911	Electrical pump issue Casuarina Fire Station	176.00
	110912	Reset flood lights at Casuarina Fire Station	220.00
	110915	Repairs to plug hanging at Relationships Australia	158.40
	110916	Repair to car park lights at Fiona Harris Pavilion	524.29
Gregs Glass	9976-19	Callistemon U2 replace wall channel	200.00
	9920-19	Callistemon U16 install shower screen unit	620.00
	10006-19	Callistemon U19 replace rollers on glass door	180.00
Sprayking WA Pty Ltd	00001901	Weed control on various hardstand surfaces Sept 20	13,097.97
	00001900	Treatment of weeds in sumps	4,169.31
	00001898	Weed control in streetscapes various locations	3,366.40
Labourforce Impex Personnel Pty Ltd	167330	Temp staff week ending 200920	1,422.70
Advance Scanning Services	20165215	ATCO gas spotter during work on Browen Avenue	418.00
Schindler Lifts Australia Pty Ltd	4678796470	Telealarm & line monitoring fee 010720 to 300920	118.75
	4678791336	Lift maintenance John Wellard Community Centre	703.79
	4678798401	Telealarm & line monitoring fee 011020 to 311220	232.86
AAA Windscreens & Tinting	INV-48757	Replace windscreen 1GQE726 and recalibrate	1,594.50
Sports Power Kwinana	260920	10 x Sports Power vouchers prizes for Recquatic competition	1,000.00
Exit Waste	4087	Service grease traps at various locations	954.00
All Lines & Signs	10680820	Linemarking for disabled parking Pace Rd Shops	990.00
	10800920	Linemarking Anketell and Mandogalup Rd	1,045.00
Pickles Auctions	DI000201499	Towing pickup Hope Valley to Bibra Lake	352.00
	DI000201498	Towing pickup Casuarina to Bibra Lake	352.00

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Jason Signmakers	212495	Street sign	149.16
GreenLite Electrical Contractors Pt	00012953	Repair high pressure fault at Thomas Oval	207.90
	00012952	Repair probes on pump at Abingdon Lake	481.40
Abbottsolutely Timber	00010318	Supply timber products for Sloan Cottage	2,674.10
Koori Mail	55540	Subscription renewal for Koori Mail	100.00
Majestic Plumbing	238139	Repairs to sewer pit at Thomas Kelly Pavilion	225.98
McLeods	115311	Legal fees matter 46244	2,845.04
Kearns Garden Supplies	54Aug20	Various hardware for Banksia Park	41.40
	53Aug20	Various hardware for Callistemon Court	48.60
Lo-Go Appointments	00422409	Temp staff week ending 190920	1,737.08
	00422407	Temp staff week ending 190920	1,218.77
	00422408	Temp staff week ending 190920	1,674.46
	00422406	Temp staff week ending 190920	1,544.07
	00422440	Temp staff week ending 260920	1,930.09
Charles Service Company	00033120	Darius Wells Library carpet dry and treatment	858.00
	00033020	Cleaning services at various locations	4,052.81
	00033113	Cleaning services at various locations	2,072.80
	00033114	Bright Futures window cleaning	1,329.82
	00033115	Additional cleaning services at various locations	456.39
	00033116	Additional cleaning services Fiona Harris	104.78
	00033118	Additional cleaning services at various locations	550.69
	00033119	Additional cleaning services at various locations	565.35
	00033123	William Bertram Centre wall cleaning	79.21
	00033124	Additional cleaning services at various locations	456.39
	00033132	Darius Wells carpet cleaning	363.00
Dulux Group	484780003	Materials for oiling of various boardwalks	1,436.90
KM Coffee 2 You	29September20	Refund of traders permit for October 20	82.00
EFT TRANSFER: - 07/10/2020			66,365.59
Bright Futures Family Day Care - Pa	280920 to 041020	FDC Payroll 280920 to 041020	48,413.74
Bright Futures In Home Care - Payro	280920 to 041020	IHC Payroll 280920 to 041020	17,951.85
EFT TRANSFER: - 08/10/2020			228,566.09
Australian Services Union	PY01-08-Aust Ser	Payroll Deduction	284.90
	PY01-08-Aust Ser	Payroll Deduction	62.78
Australian Taxation Office	PY01-08-Australi	PAYG tax withheld	211,154.00
	PY99-06-Australi	PAYG tax withheld	99.00
Maxxia Pty Ltd	PY01-08-Maxxia P	Payroll Deduction	1,484.05
	PY01-08-Maxxia P	Payroll Deduction	1,491.56
	100329020200930	Employee net ITC for September 2020	206.13
Health Insurance Fund of WA (HIF)	PY01-08-Health I	Payroll Deduction	954.60
City of Kwinana - Xmas fund	PY01-08-TOK Chri	Payroll Deduction	7,390.00
Child Support Agency	PY01-08-Child Su	Payroll Deduction	1,089.21
Easifleet	138710	Novated lease charges 011020	3,919.09
LGRCEU	PY01-08-LGREC UI	Payroll Deduction	430.50
	PY01-08-LGREC UI	Payroll Deduction	0.27
EFT TRANSFER: - 08/10/2020			1,312,471.13

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Aquatic Leisure Technologies Pty Lt	Refund	Refund 20/738 duplicate payment	271.65
Nilfisk Pty Ltd	PSVI018910	Repairs to Nilfisk lever handle	58.30
Tayla Annette Sargeant	1720608	Refund bond The Patio	100.00
Neil Dunmow	1735194	Refund bond The Patio	100.00
Summers Consulting	INV-840	Mosquito monitoring to 170920	1,126.40
	INV-839	Mosquito monitoring to 030920	1,236.40
Retech Rubber	00003355	Repair soft fall rubber Thomas Oval playground	291.50
Alison Bannister Career Coaching	CBGYRG1	Career coaching session	59.90
Port Printing Works	INV057248	Parking infringement books	323.40
	INV057348	Bush fire infringement books	295.90
	INV057457	Vet handling forms in triplicate books	200.07
	INV057949	Re-run of the Love My Kwinana postcards	465.30
Outback Handyman	2789	Banksia Park supply and fit garden edging	176.00
Turf Care WA Pty Ltd	INV-1134	Vertimow Medina Oval	6,618.15
Travis Hayto Photography	00001790	Videography for Bright Futures recruitment	1,314.50
Hydroquip Pumps	INV-41795	Bore redevelopment Medina Oval (East)	5,379.00
	INV-41794	Bore redevelopment Bertram Oval	5,379.00
	INV-41793	Replace motor lead and drop cable Gilmore Ave bore	1,413.50
	INV-41792	Bore redevelopment Gilmore Ave pump 1	5,379.00
	INV-41791	Replace missing head works Chisham Oval	4,664.00
	INV-41790	Replace missing head works Parmelia Ave pump 1	1,507.00
Red Sand Supplies Pty Ltd	00012975	Concrete tipping Barwell Rd	92.40
Lighthouse Studio Productions	INV-9239	Photography workshop Rotary Wildflower Reserve	525.00
Community Resources Limited T/As So	INV49146	Mattress collection and recycling	2,316.60
Mailing Solutions Pty Ltd	507242	Printing and issuing of Instalment Reminder Notice	882.86
Alan Ward	1735937	Refund bond The Patio	100.00
Royal Life Saving Society	122162	Home pool barrier inspections 010820 to 310820	528.00
Rodney Ian Gaskin	5.3	Rates Refund	910.95
Urban Development Institute of	14866	UDIA webinar 130820	49.00
ASC Pty Ltd	1726222	Refund bond on Ken Jackman Hall	300.00
Profounder Factory Direct Pty Ltd	Refund	Duplicate payment 20/638 16 Greenstead Way Wellard	166.65
The Agency Property Management	5.3	Rates Refund	572.25
Grecian Martin	1735410	Refund bond The Patio	100.00
Jacinta Stewart	1737704	Refund bond The Patio	100.00
Jessica Perry	1704283	Refund bond The Patio	100.00
Jessica Lee Kirkup	061020	Refund cancellation The Patio booking	39.00
Paul John Candlish	061020	Refund cancellation The Patio booking	39.00
	1726824	Refund bond The Patio	100.00
Maria Rosetta McConnon	1737709	Refund bond Little Rascals Medina	300.00
Jade Louise McCallum	051020	Reimbursement supplies for We love Bertram event	75.00
Craig Packer	190920	Compost bin rebate	60.00
Shane McMaster Surveys	Kwin307	Road reserve survey pickup Challenger Ave	2,200.00
Sunny Sign Company Pty Ltd	442815	Z brackets for double plate artwork	28.60
	442117	Disabled bollard with reflective strip	242.00
	442726	Street sign for Partridge Street and Sutton Road	148.50
Telstra	0335568200Sep20	Banksia Park Clubhouse to 091020	46.44
	1548725500Sep20	Feilman Building	19.25

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Toll Transport Pty Ltd	0404-T221490	Courier charges 021020	13.05
	1093395	Transport services food water sampling analysis	42.14
Wormald Australia Pty Ltd	8246163A	Banksia Clubhouse repairs to fire panel alarm	506.00
WA Limestone Co	ML6748	Supply 219t road base Naval Base	4,807.70
Waste Stream Management Pty Ltd	00427110	Tipping fees 300920	132.00
Water Corporation of Western Austra	9021870831Sep20	1U Moonstone Park	2.58
	9014096921Sep20	26U Wellard Pavilion	537.10
Zurich	6045263	Excess payment for claim 6045263	500.00
Kyocera Document Solutions Australi	90072719	Copy costs Sep ICT	95.87
	90072720	Copy costs Sep Community Centre	70.77
	90072721	Copy costs Sep City Leadership Team	175.51
	90072722	Copy costs Sep Library Staff	125.85
	90072724	Copy costs Sep Admin Planning	370.66
	90072723	Copy costs Sep The Zone Multimedia Room	88.98
	90072725	Copy costs Sep Admin Governance	286.08
	90072726	Copy costs Sep Admin Finance	272.34
	90072727	Copy costs Sep Recqautic	275.86
	90072728	Copy costs Sep Family Day Care	117.22
	90072729	Copy costs Sep Depot Admin	111.98
	90072730	Copy costs Sep Admin CSO	67.71
	90072731	Copy costs Sep Depot Demountable	77.70
	90072732	Copy costs Sep Library public	73.45
	90072733	Copy costs Sep Darius downstairs	39.97
	90072734	Copy costs Sep Admin Records	434.45
	90072735	Copy costs Sep Zone Downstairs	11.25
	90072736	Copy costs Sep Darius Wells Volunteer Centre	29.91
	90072737	Copy costs Sep Banksia Park	42.91
	90072738	Copy costs Sep Creche	19.12
Taylor Tyres Pty Ltd	22020	1 tyre fitted to P155	358.60
	22021	Puncture repair to P223	209.00
	22022	2 new tyres fitted to P351	935.00
	22023	2 new tyres fitted to P584	363.00
	22062	Puncture repair to Unit 4499	66.00
	22063	Wheel alignment KWN2094	407.00
	22061	Puncture repair 1GJU178	88.00
Officeworks BusinessDirect	12093100	Stationery items for City Assist	147.87
Absolute Painting Services	INV-1614	Callistemon U2 repaint internal walls	1,584.00
Palm Lakes Gardens & Landscape Serv	12580	25 Bright Rd garden renewal work	1,485.00
	12570	Banksia Park V9 repair broken pipe	110.00
Beaver Tree Services Aust Pty Ltd	74895	Tree pruning Wandl	4,921.31
Synergy	856518550Oct20	Decorative lighting	2,741.26
	792417950Oct20	Street lighting	118,844.56
GlobalX Information Services Pty Lt	PSI0180373	Legal name search for Sep 20	40.70
Allcom Communications	30217	Install rear camera to IERM600	1,623.31
Bunnings Building Supplies	2163/01302072	Assorted garden supplies	42.21
	2163/01665903	Shelving kit rack for Thomas Kelly Pavilion	284.05
Ixom Operations Pty Ltd	6296255	Chlorine gas supply for Recquatic Sept	122.76
Sigma Chemicals	142526/01	Chemical order for Recquatic	529.10
	142525/01	Pool chemicals Recquatic	184.80
Natural Area Holdings P/L t/as Natu	00013886	Peel sub and drain landscaping progress claim 4	4,275.48
	00013990	Bushland reserve contracted weed control services	16,743.38
Wilson Security Pty Ltd	W00266716	Callistemon Court security patrols to 300920	873.90

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Cannon Hygiene Australia Pty Ltd	96806906	Hygiene services 060920 to 051020	1,519.46
Downer EDI Works Pty Ltd	6009546	Asphalt 7mm Gran AC50B	422.66
Samantha Ballard	061020	Innovate RAP Concept Artwork development fee	400.00
Acurix Networks Pty Ltd	00002793	William Bertram NBN Oct 20	100.10
Outsource Business Support Solution	00001569	Temp staff week ending 051020	2,994.75
Marketforce Pty Ltd	35133	Advertising 280820	247.50
	35136	Advertising 040920	247.50
	35134	Advertising 010920	247.50
	35132	Advertising 260820	247.50
	35142	Advertising 220920	247.50
	35141	Advertising 180920	247.50
	35140	Advertising 110920	495.00
	35138	Advertising 160920	416.27
	35137	Advertising 090920	189.30
	35143	Advertising 230920	572.33
Daniels Printing Craftsmen	68668	Card stock infringement notices	209.00
AAA Blinds Port Kennedy	7604	Callistemon U44 replace all blinds	770.00
CJD Equipment Pty Ltd	006329531	Repair coolant leak on engine L70F 24817	1,298.52
Coastline Mowers	25310#5	Battery adaptor for City Operations	118.30
KLMedia Pty Ltd	1146351	DVD's for Library	73.18
	1146350	Music CD's for Library	23.52
	1146352	DVD's for Library	48.43
Hays Specialist Recruitment Pty Ltd	9584498	Placement fee for professional services	17,598.28
Foreshore Rehabilitation & Fencing	INV-4775	Repair works Orelia Oval cricket nets	1,479.50
Eclipse Soils Pty Ltd	KWIN01044104	General tipping fees and topsoil for depot	698.50
	KWIN01R044104	General tipping grass	1,292.50
Bladon WA Pty Ltd	BWAI45787	100 x City of Kwinana drink bottles	506.00
Advanced Traffic Management (WA) Pt	00139694	Traffic management Rockingham Rd	1,023.00
	00139692	Traffic management Everite Way	1,038.40
	00139693	Traffic management Gilmore Ave	484.00
	00139695	Traffic management Calista Ave	1,135.20
	00139696	Traffic management Beacham Cres	851.40
	00139778	Traffic management Barwell St	1,040.60
	00139756	Traffic management Barwell St	1,213.30
	00139588	Traffic management Barwell St	3,484.80
	00139589	Traffic management Cockburn Rd	2,345.75
LD Total	108047	Additional maintenance at various locations Sep 20	1,709.30
	107480	Additional maintenance at various locations Sep 20	1,791.26
	108072	Additional maintenance at various locations Sep 20	50.31
	107479	Additional maintenance at various locations Sep 20	349.11
	108073	Additional maintenance at various locations Sep 20	1,483.71
	107478	Additional maintenance at various locations Sep 20	812.39
	107481	Additional maintenance at various locations Sep 20	18,075.89
	107497	20m3 Pine Bark Mulch for Wellard Village	2,695.00
	108905	Landscape maintenance various locations Sep 20	7,621.39
	108879	Landscape maintenance various locations Sep 20	2,503.96
	108877	Landscape maintenance various locations Sep 20	1,131.09
	108881	Landscape maintenance various locations Sep 20	4,745.31
	108886	Landscape maintenance various locations Sep 20	2,813.79
	108890	Landscape maintenance various locations Sep 20	352.17
	108883	Landscape maintenance various locations Sep 20	3,601.76
	108888	Landscape maintenance various locations Sep 20	417.40
	108909	Landscape maintenance various locations Sep 20	234.65

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	108911	Landscape maintenance various locations Sep 20	1,653.04
	108906	Landscape maintenance various locations Sep 20	32,759.51
	108880	Landscape maintenance various locations Sep 20	8,872.47
	108878	Landscape maintenance various locations Sep 20	5,078.39
	108882	Landscape maintenance various locations Sep 20	15,981.61
	108887	Landscape maintenance various locations Sep 20	9,370.17
	108891	Landscape maintenance various locations Sep 20	1,986.75
	108884	Landscape maintenance various locations Sep 20	11,447.15
	108889	Landscape maintenance various locations Sep 20	1,171.42
	108910	Landscape maintenance various locations Sep 20	824.44
	108912	Landscape maintenance various locations Sep 20	5,439.02
	108885	Landscape maintenance various locations Sep 20	2,755.48
Australian Office Leading Brands	96318680	Stationery for Admin	382.87
ED Property Services	00001593	Banksia V33 repair roof and paint	143.00
	00001592	Callistemon Court U44 renew kitchen shelves	770.00
Data #3 Limited	01952743	Wireless keyboard sets x 5	213.89
	01953945	Extreme Cloud IQ pilot subscription	4,082.75
JB Hi-Fi Rockingham	103094653-100	Phone cradle for facilities vehicle	39.95
Jaycar Pty Ltd	50211004299	Electronic equipment for Recquatic	139.90
Elliotts Irrigation Pty Ltd	B19483	Iron filter servicing for Sep	2,167.00
Landgate	359714-10001098	GRV chargeable schedule No G2020/19	184.70
	359298-10001098	UV chargeable schedule No U2020/5	500.00
	359197-10001098	GRV chargeable schedule No G2020/18	1,421.27
	1031640	Landgate title search fees July 20	213.60
	1039640	Landgate title search fees August 20	53.40
Big W	176015	Food for animal services	79.80
	176016	Earbud headphones for Library	60.00
Quell Clean	00052937	Callistemon U44 vacate clean	270.00
JB HiFi Commercial Division	BD0264317	Iphone cases and cables	463.90
Australian Safety Engineers	0149653W	Hydrotest of breathing cylinder at Recquatic	91.30
Master Lock Service	00007307	Callistemon U2 replace security door	220.00
Fire & Emergency Services, Dept of	01October20	ESL collections for September 2020 Option A	721,391.87
Accord Security Pty Ltd	00025093	Cash handling services for Sep 20	748.00
Flexi Staff Pty Ltd	I0002164	Temp staff week ending 270920	1,512.86
Zenien Pty Ltd T/as ATFT Astuta Tru	17813	CCTV repairs to Darius Wells	317.63
Cat Haven	00200946	Animal service fee for Sep 20	154.00
Woolworths Group Limited	3821110	Items for Recquatic	66.15
	74133655	Items for City Operations Team	111.09
	3995150	Items for City Operations Team	48.10
	74266410	Restock of drinks fridge at Cafe Splash	550.50
Total Green Recycling	INV8477	E waste recycling	465.63
Isentia Pty Limited	MN0806022	Media monitoring October 20	935.00
Gregs Glass	10007-19	Callistemon U26 repair rear glass sliding door	200.00
	9934-19	Callistemon U44 install enclosed shower recess	525.00
Jay-Tech Security	00013401	Banksia V11 disconnect alarm system	198.00
Heatley Sales Pty Ltd	C949933	Respirator P2 valve flat fold 10 pack	383.90
Riteshkumar Ambalal Patel	01October2020	Cancellation of remaining hires in April 2020	141.63
	838652	Refund bond on Tuart Room	200.00
Tanya Halliday	02September20	Purchase of birth certificate	50.00
Blackwood & Sons Ltd	PE4045XS	Hand cleaner for City Operations Team	223.87

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Flex Industries Pty Ltd	1007561	Install trailer brake to KWN2044	948.90
	1007562	Install battery isolater switch to KWN2077	548.90
	108243	Repairs on fuel pump wiring and trailer brake	1,712.07
The Smart Security Company P/L	Q11822	Banksia Park medi minder monitoring Oct to Dec 20	5,039.65
	69076	Banksia V22 repair duress system	165.00
Koorliny Arts Centre	00004306	Operating subsidy for quarter 2 2020/2021	111,983.29
Shanon Diane Reye	01October2020	Compost bin rebate A/N 2841	60.00
Purearth	INV-0790	Road sweeping and tip fees	4,766.52
Ohura Consulting	INV-0095	Assistance with HR matter	2,854.78
Les Mills Australia	1095354	Les Mills licence fee Oct 2020	886.62
Landscape and Maintenance Solutions	INV-1817	Mowing Rockingham and Patterson Roads Sep 20	1,980.53
	INV-1816	Broadacre mowing of sportsgrounds Sep 20	7,161.92
	INV-1815	Passive and streetscape mowing various locations	8,502.21
	INV-1814	Mowing maintenance of dryland Reserves various	9,778.69
Air Liquide Australia	WW2485	Hire of medical oxygen Recquatic	72.38
Lo-Go Appointments	00422442	Temp staff week ending 260920	1,737.08
	00422441	Temp staff week ending 260920	1,674.46
	00422443	Temp staff week ending 260920	2,723.74
	00422477	Temp staff week ending 031020	1,674.46
Charles Service Company	00032695	Upholstery cleaning at The Zone	198.00
	00032696	Carpet cleaning of mezzanine level at Darius Wells	339.74
Dance Inclusions	979240	Refund security deposit The Zone	239.52
Native Plants WA	INV-0226	Native plants for coastal restoration	1,838.20
EFT TRANSFER: - 08/10/2020		Payment reversal creditor #12510	-100.00
EFT TRANSFER: - 12/10/2020			249,481.19

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
SuperChoice	September2020-01	Superannuation-September2020-01	174,098.58
	September2020-03	Superannuation-September2020-03	3,942.05
	September2020-06	Superannuation-September2020-06	1,110.56
	September2020-07	Superannuation-September2020-07	3,276.69
	September2020-13	Superannuation-September2020-13	1,163.90
	September2020-14	Superannuation-September2020-14	11,609.79
	September2020-16	Superannuation-September2020-16	558.30
	September2020-17	Superannuation-September2020-17	17,430.55
	September2020-18	Superannuation-September2020-18	1,983.62
	September2020-21	Superannuation-September2020-21	1,438.72
	September2020-22	Superannuation-September2020-22	467.37
	September2020-24	Superannuation-September2020-24	696.16
	September2020-28	Superannuation-September2020-28	231.66
	September2020-29	Superannuation-September2020-29	262.18
	September2020-30	Superannuation-September2020-30	1,124.06
	September2020-32	Superannuation-September2020-32	1,118.44
	September2020-48	Superannuation-September2020-48	459.35
	September2020-49	Superannuation-September2020-49	1,265.01
	September2020-50	Superannuation-September2020-50	1,657.33
	September2020-54	Superannuation-September2020-54	1,812.62
	September2020-55	Superannuation-September2020-55	4,253.11
	September2020-56	Superannuation-September2020-56	1,102.55
	September2020-58	Superannuation-September2020-58	974.61
	September2020-59	Superannuation-September2020-59	1,031.46
	September2020-60	Superannuation-September2020-60	1,293.35
	September2020-61	Superannuation-September2020-61	504.28
	September2020-63	Superannuation-September2020-63	322.84
	September2020-64	Superannuation-September2020-64	772.69
	September2020-66	Superannuation-September2020-66	461.27
	September2020-70	Superannuation-September2020-70	588.97
	September2020-72	Superannuation-September2020-72	974.74
	September2020-73	Superannuation-September2020-73	494.73
	September2020-75	Superannuation-September2020-75	245.54
	September2020-79	Superannuation-September2020-79	1,110.56
	September2020-81	Superannuation-September2020-81	809.98
	September2020-83	Superannuation-September2020-83	1,054.02
	September2020-84	Superannuation-September2020-84	103.65
	September2020-85	Superannuation-September2020-85	795.36
	September2020-89	Superannuation-September2020-89	936.56
	September2020-90	Superannuation-September2020-90	594.56
	September2020-91	Superannuation-September2020-91	850.68
	September2020-92	Superannuation-September2020-92	1,659.74
	September2020-93	Superannuation-September2020-93	230.90
	September2020-94	Superannuation-September2020-94	2,195.64
	September20B-01	Superannuation-September20B-01	322.38
	September20B-93	Superannuation-September20B-93	90.08
EFT TRANSFER: - 14/10/2020			74,051.62
Bright Futures Family Day Care - Pa	051020 to 111020	FDC Payroll 051020 to 111020	54,956.66
Bright Futures In Home Care - Payro	051020 to 111020	IHC Payroll 051020 to 111020	19,094.96
EFT TRANSFER: - 15/10/2020			1,118,729.38

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Go Doors Pty Ltd	88806	Repair shed roller door at Wellard Pavilion	495.00
Cook Island Community WA Incorporat	1738204	Refund bond on Medina Hall	907.00
Oakford Agricultural & Garden Suppl	85423	Hardware for City Operations	1,545.00
Canon Production Printing Australia	1508006	Colorwave 3500 scanner charges Sep 20	275.00
Shred-X Pty Ltd	01503125	Exchange and destroy secure document bins	50.60
Alex Krsnik	SQ20027	City Centre litter collection Sep 20	3,204.83
	SQ20025	Rural road verge litter collection for Sep 20	9,120.37
	SQ20023	Roundabout maintenance Sep 20	3,525.28
	SQ20016	Landscape maintenance for Sep	1,143.23
	SQ20017	Slashing on vacant block at Darius Wells	330.00
	SQ20018	Litter pickup and slashing Heylmore Rd	121.00
	SQ20014	Litter pickup and slashing Rockingham Rd	357.50
	SQ20013	Slash and spray Wellard Rd	242.00
	SQ20015	Landscape maintenance Gilmore Ave	528.00
	SQ20020	Slash and weed control Wellard Rd	429.00
	SQ20021	Slash and weed control Gilmore & Runnymede	352.00
	SQ20022	Slashing Lazuli Rise	143.00
	SQ20024	Landscape maintenance Hope Valley Rd	711.92
	SQ20026	Road verge litter collection for Sep various	6,980.85
Oban Group Pty Ltd	24272	Paint storeroom ceiling at Fiona Harris Pavilion	558.25
Technifire 2000	24076	Repairs to pumps at Mandogalup Station	4,186.91
	24077	Mandogalup repairs to 1GJJ940	5,627.35
Strategic DCP Consulting	026	DCP consulting services for DCA's	572.00
Port Printing Works	INV058258	Cafe Splash loyalty cards	44.00
	INV058271	Cafe Splash coffee cards	35.20
	INV058282	Cafe Splash menu folders	190.30
	INV058289	Kwinana Recquatic October Drive flyers	66.00
Focused Supports	1719969	Refund bond on The Patio	100.00
Kleenheat	3767023	Monthly gas charges various locations September 20	8,332.90
Sonic Health Plus	2167164	Preemployment medical assessment 011020	386.10
Ritz Party Hire	1244604712	Hire of items for Wildflower Reserve	539.00
Dowsing Group Pty Ltd	14562	Construction of footpath Barwell Rd	13,868.48
Aquatic Leisure Technologies T/As	Refund	Inv 62430 20/388 overpayment	105.00
Holcim (Australia) Pty Ltd	9407171902	Supply .6M3 N25 14mm concrete to Medina	296.12
Red Dot	01000029	Items for City Operations	32.00
Julia Kay Wallis	2020-2021-010	Oral history interviews and transcripts	431.28
Jennifer Lee Marslen	08October2020	Items for Community Engagement	321.79
Insight Electrical Technology Pty L	31438	Installation of lighting towers to Thomas Oval	72,383.78
Rockingham Betta Electrical & Gas	32410017565	Callistemon U70 install new oven	2,137.00
Urbaqua Ltd	INV-02851	Hydrological assessment Mortimer Rd	6,600.00
Burson Automotive Pty Ltd	108123392	Wiper blades	222.93
	108123424	Cycle battery	735.87
	108099676	Air filter KWN2101	149.79
	108099801	Air filter 1GMX033	57.74
	108099884	Various oil filters	123.74
	108099956	Air filters KWN700	62.00
	108100011	Oil filters 1GWL818	123.74
	108100070	Various filters for KWN2130	123.74
	108100110	Various filters for 1EWZ823	68.92
	108100147	Various filters for 1GVK917	59.25
	108100186	Various filters 1GWO590	33.89

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	108100228	Various filters 1GIL472	66.69
	108100274	Various filters KWN2055	123.74
	108099613	Various filters 1EYT548	64.52
	108100339	Various filters 1GOM950	66.52
	108100392	Various filters KWN2108	123.74
Mackie Plumbing and Gas Pty Ltd	195649	Repair AC line at John Wellard Community Centre	317.52
	195650	Clear HWS lines at Kwinana Small Business Centre	92.13
	195647	Repair toilet blockage at Kwinana Bowling Club	345.21
	195638	Callistemon U9 replace gas cooker	428.73
	195236	Repair drainage to John Wellard Community Centre	85.42
	195627	Servicing of pumps at Thomas Kelly Pavilion	924.00
	195628	Maintenance on pump pit at The Zone	968.00
	195629	Hydrojet centre probes at Thomas Oval Pavilion	924.00
	195630	Maintenance of pump pit at Kwinana Bowling Club	924.00
	195631	Modification to dog fountain at Darling Dog Park	759.00
	195641	Replace trap from basin Challenger Beach toilets	175.96
	195642	Repair blocked toilet at Admin Building	126.12
	195643	Repair blocked toilets at Wells Park	206.97
	195644	Install new toilet at Challenger Beach toilets	547.20
	195651	Callistemon U26 install new HWS	1,547.00
	195637	Callistemon U17 replace kitchen taps	141.52
	195648	Callistemon U64 replace taps in garden	146.89
	195652	Callistemon U70 install new toilet hose	141.09
Moore Australia (WA) Pty Ltd	1424	Nuts and Bolts and The Gears workshop	1,419.00
Lisa Ayre	1744519	Refund bond on The Patio	100.00
As Clean As A Whistle	00000377	Banksia Clubhouse and Office cleaning Sep 20	819.50
Taborda Contracting	refund	Inv 61697 duplicate payment	116.00
Seongji Park	071020	Recquatic refund for double payment	4.50
Gateway Residential	5.6	Rates Refund	1,229.62
Baldivis Box Shop Pty Ltd	5.6	Rates Refund	6,189.90
The Grand Lodge Of WA Freemasons Ho	5.6	Rates Refund	891.00
Deborah Ann Jones	5.6	Rates Refund	2,136.46
Tokelau Akoga	1744556	Refund bond on Medina Hall	300.00
Deanne Tomich	1649159	Refund bond on The Patio	100.00
Brett Michael Jotta	1697488	Refund bond on The Patio	100.00
Rosalie Claire McDonald	1704305	Refund bond on The Patio	100.00
Melissa Louise Shaw	1705806	Refund bond on The Patio	100.00
	12October20	Booking cancellation on Medina Hall 281120	317.40
Sandra Braddow	1728685	Refund bond on The Patio	100.00
Peter Noble	1729054	Refund bond on Ken Jackman Hall	2,000.00
Christine Librizzi	1738052	Refund bond on The Patio	100.00
Gurdeep Kaur	1744560	Refund bond on The Patio	100.00
Te Urupu Impi Inc	1728789	Refund bond on Isabella Corker Wing	300.00
Paul Michael Lucas	12October20	Reimbursement of security licence for role	232.95
Western Australian Land Authority	5.8	Rates Refund	74.23
Shenton Enterprises Pty Ltd	175507	Repairs to dolphin pool cleaner at Recquatic	2,414.23
Daimler Trucks Perth	6204035D	Seat covers for City Operations Team	326.02
St John Ambulance Australia (WA) In	FAINV00544695	First aid training 061020	128.00
	FAINV00514710	First aid training 160920	39.00
Sunny Sign Company Pty Ltd	443109	Pedestrian bollards for City Operations Team	225.50

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Telstra	1355246271Sep20	Mobile devices whole organisation Sep 20	10,527.53
	9385375010Oct20	Internet and data to 241020	2,491.62
Total Eden Pty Ltd	410925516	Reticulation stock	147.43
Trisley's Hydraulic Services Pty Lt	100203300	Install circuit breakers to pools at Recquatic	1,122.00
Wormald Australia Pty Ltd	8308480	Repair fault on panel at Fiona Harris Pavilion	1,188.00
Water Corporation of Western Austra	9021511329Oct20	1U Boyne Park drink fountain	2.58
	9015846691Oct20	1U Pimlico Gardens drink fountain	2.58
	9018600726Oct20	25U Wellard Community Centre	1,621.20
Wattleup Tractors	1267430	Various filter kits for City Operations Team	387.95
Westbooks	316745	Junior Library books	12.57
	316740	Adult Library books	157.36
	316744	Junior Library books	12.57
	316742	Adult Library books	27.36
Zipform Pty Ltd	199371	Dog registration forms for 2020 season	595.84
Taylor Tyres Pty Ltd	22070	Tyre replacement 1GOU180	147.40
	22071	Puncture repair UNIT499	22.00
	22072	Puncture repair KWIN2134	44.00
	22073	Two tyres for KWN2128	552.20
	22074	Tyre replacement UNIT583	182.60
	22075	Tyre replacement KWIN2110	552.20
Cornerstone Legal	17583	Legal fees matter No 004825	1,760.00
Palm Lakes Gardens & Landscape Serv	12591	Callistemon U56 repair broken sprinkler	88.00
	12596	Callistemon U10 and U36 repair retic	88.00
Suez	39447900	Green waste tipping fees Sep 20	1,017.08
	39474983	General waste Sep 20	1,321.39
	39439441	Mixed waste Sep 20	191,930.10
	165279	Commercial recycle and waste for Sep 20	162,319.99
Synergy	294827290Oct20	13U Art sculpture Darling Park	114.41
	657514270Oct20	0U Wandi Oval	108.83
	295922660Oct20	153U Willandra Park	154.61
	938812910Oct20	5981U Wandi Reserve	1,522.17
	314938770Oct20	0U Woko Park	110.68
	2065062906Oct20	59U Honeywood Park/Bruny Meander bore/BBQ/lights	129.47
	264244690Oct20	196U Gecko Park	168.80
	422268910Oct20	5789U Depot	1,433.43
	141057240Oct20	14U The Zone	3,591.21
	290833680Oct20	31U Honeywood Park BBQ/Lights	121.43
	198511040Oct20	280U Bruny Meander bore/bore/lights	192.91
	294428370Oct20	84U Morington Park	136.64
	258360080Oct20	3719U Kwinana Adventure Park	886.15
	118367820Oct20	4943U New Thomas Oval Pavilion	1,168.35
	346533490Oct20	30U Vacant U16 Callistemon	53.60
	352432900Oct20	67U Chillcott St vacate	102.36
	135567600Oct20	37149.5U Darius Library and Resource Centre	8,683.42
	177581220Oct20	755521.69U Recquatic	16,955.48
	259587970Oct20	148U Honeywood Ave retic	155.01
	830669340Oct20	7U Wandi fire pump	114.54
Lock Joint Australia	149872970Oct20	3779U Incubator	915.84
	201813230Oct20	2085U Mandogalup Station/reserve bore	703.68
	198694990Oct20	39431U Admin/Arts/Parmelia	9,495.35
	SI-00016910	Bitumen fibre joint 100mm X 2.44m	605.00
Prestige Catering & Event Hire	INV-1892	Morning tea for function 071020	614.10
Lindsay Calyun	54	Painting concepts for Innovate Reconciliation Plan	400.00

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Bunnings Building Supplies	2163/01080521	Items for The Zone	88.12
	2163/01072862	Cleaning equipment for Facility Maintenance	45.60
	2163/01580031	Items for Recquatic wet area and compound area	147.32
Ixom Operations Pty Ltd	6298588	Chlorine gas Recquatic	1,035.89
Neverfail Springwater	810842	Bottled water for Admin Building	54.60
	811519	Bottled water for Admin Building	70.20
Carol Elizabeth Adams	September20	Reimbursement of travel expenses September 20	48.73
Chadson Engineering	A0089340	Recalibration of palin test photometer Recquatic	354.20
Outsource Business Support Solution	00001572	Temp staff week ending 091020	1,452.00
Marketforce Pty Ltd	35129	Advertising 090920 and 230920	2,431.00
	35131	Advertising 020920	1,739.41
	35139	Advertising 230920	344.28
	35135	Advertising 090920	488.27
	35130	3 month real estate subscription for Banksia Park	1,012.00
Arbor Logic	00004475	Tree risk assessment at various sites	2,227.50
City of Rockingham	113571	Tip fees to 300920	40,770.44
Western Maze Pty Ltd	00001026	Hard waste collection area 1	50,355.25
Coastline Mowers	25360	Repairs to hedger at City Operations Team	55.50
Eclipse Soils Pty Ltd	KWIN01R044089	General tipping grass	841.50
Wizard Training Solutions	WIZZ011	Delivery of training on 081020	2,970.00
Winc Australia Pty Ltd	9033971609	Stationery items for Incubator	184.21
	9033972420	Stationery items for Library	321.17
	9033970616	Stationery items for Family Day Care	210.28
Advanced Traffic Management (WA) Pt	00139691	Traffic management various sites	8,021.20
	00139720	Traffic management Gilmore Ave	1,925.83
Kennards Hire Rockingham - Generato	21933245	Hire of block grab for City Operations Team	260.00
ED Property Services	00001604	Banksia V62 repairs to walls and new handles	715.00
	00001605	Banksia V11 repair wall cracks ready for painting	1,067.00
Rockingham Skylights	12477	Callistemon U18 & 66 install skylight	1,000.00
T J Depiazzi & Sons	110169	Supply and deliver Pinebark mulch to Depot	3,259.85
Porter Consulting Engineers	00020554	Drainage relocation Bertram Rd	2,750.00
Complete Office Supplies Pty Ltd	09573464	Stationery for City Operations	221.43
	09573365	Stationery items for Library	101.64
	09570770	Stationery items for City Operations	173.69
Department of Transport	4141230	Vehicle search fees	34.00
Landgate	1047643	Landgate title search fees Sep 20	160.20
Big W	176001	Recquatic Swim School office stationery	88.00
Castledex Pty Ltd	INV37077	Oxford round tables for Darius Wells x 3	1,221.00
LGISWA	100-141031	Workers compensation 2020/2021 2nd instalment	137,265.46
	100-140710	2020/2021 Public Liability Insurance renewal	65,458.36
	100-141101	2020/2021 Property Insurance 2nd instalment	86,570.34
Quell Clean	00052938	Callistemon U2 vacate clean	165.00
Tony Aveling & Associates Pty Ltd	I0039229	Safety and Health introductory course	1,980.00
OCP Sales	00056009	Patrol kit bags for City Assist	387.86
Master Lock Service	00007355	Banksia V62 fit new window winder to bedroom	215.00
	00007306	Install lock on connecting rooms at Darius Wells	130.00
	00007317	Refit barrel lock to door at William Bertram	120.00
Tyrecycle Pty Ltd	882848	Tyre collection Sep 20	353.88

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Talis Consultants Pty Ltd	21417	Landfill gas investigation Peace Park	8,544.26
Accord Security Pty Ltd	00025104	Alarm security for various locations Sep 20	1,254.00
Flexi Staff Pty Ltd	I0002334	Temp staff week ending 041020	1,131.85
CMS Engineering Pty Ltd	39061	Repair AC at Recquatic staff room	429.00
	39021	Repair AC at Darius Wells	763.40
	39044	Repair cool room at Fiona Harris	623.70
	39045	Repair cool room at Senior Citizens Centre	2,008.60
	39020	Repair chiller fault Darius Wells Library	456.50
ALSCO Pty Ltd	CPER2072854	Linen hire	59.63
	CPER2074242	Linen hire	95.57
	CPER2076296	Linen hire	59.63
Woolworths Group Limited	74516929	Morning tea items	148.27
	3821109	Items for The Zone	7.17
	3995148	Items for The Zone	7.17
	74719849	Items for City Operations Team	112.11
	3821103	Items for Community Resource Centre	15.00
	3821112	Items for The Zone	27.15
	3821107	Items for The Zone	52.80
	74716050	Items for Admin Bldg	113.55
	3821102	Items for Darius Wells	48.00
	71222034	Recquatic cafe drinks for fridge	367.75
	3821114	Supplies to remove sticky residue Medina Hall	50.65
	73686388	OCM catering for dinner and staff items	103.15
	74523328	Items for Admin Building	139.90
	73833366	Quarterly celebration and staff items	205.68
Kim Baden McClennan	13October2020	HR Licence renewal	44.05
Supa Soils Pty Ltd	SS-75602	Sand for playpit at Bright Futures	104.40
Elexacom	112026	Banksia V1 replace light switch in bedroom	85.67
	111036	Emergency and evacuation testing for Wandi Hall	132.00
	111037	RCD testing The Pavilion Wandi	44.00
	111039	Emergency and evacuation testing for The Pavilion	132.00
	111038	Emergency and evacuation testing for Resource Centre	110.00
	111040	RCD testing Wandi Hall	66.00
	111041	Maintenance of lights in City Operations Team	919.16
	111042	RCD testing at Magenup Equestrian Centre	132.00
	111046	Repair exit lights at Admin Bldg	552.83
	112027	Repair faulty switches at Koorliny Community Arts	137.50
	112029	Replace exit signs Business Incubator	336.69
	112034	Repair broken pit at Emerald Park	1,197.02
	111028	RCD testing Magenup Equestrian Centre	88.00
	111029	RCD testing Clubrooms Wandi Hall	44.00
	111030	RCD testing Leda Hall	22.00
	111031	RCD testing The Shed	88.00
	111032	RCD testing Kwinana Out of School Care	22.00
	111033	Emergency and evacuation testing Clubhouse Wandi	88.00
	111034	Emergency and evacuation testing The Shed	88.00
	111035	RCD testing The Resource Centre Wandi	44.00
	112032	Banksia V25 replace exhaust fans	500.51
	112033	Callistemon U57 disconnect power for water leak	618.22
	111095	Repair lights at Robbos Way	1,731.77
	112028	Replace lights along Skerne Street	3,796.10
Zip Heaters	3494947	Zip hydrocare agreement 011020 to 300921	885.50
Gregs Glass	10112-19	Banksia V33 replace damaged rollers	150.00
Labourforce Impex Personnel Pty Ltd	167686	Temp staff week ending 111020	978.11

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	167680	Temp staff week ending 111020	1,595.64
Australian Grown	SI30466	Bright Futures uniform with logo	44.33
Harmony Software	3-676	Harmony Web Educator subscription Sep 20	871.20
	3-690	In Home Care Educator subscription Sep 20	277.20
AAA Windscreens & Tinting	INV-48857	Replace rear passenger window	265.00
Blackwood & Sons Ltd	KW6747XT	Items for City Operations	239.12
	PE6748XT	Safety glasses for City Operations	44.22
Starbucks Flooring	INV-000736	Callistemon U44 replace carpet and vinyl	2,112.00
	INV-000733	Callistemon U2 replace carpet and vinyl	1,725.00
GreenLite Electrical Contractors Pt	00012993	Repair power to Lionel and Rockingham Rd	138.60
	00012992	Inspect power fault Lionel Rd	138.60
Abbottsolutely Timber	00010346	Install bolts to sashes at Sloan Cottage	198.00
Total Tools Rockingham	122989	Welding equipment for City Operations Team	1,091.90
Chris Kershaw Photography	L2741	Photographer for Wildflower Walk	440.00
Envirosweep	80532	Road sweeping various locations for Sep 20	4,812.50
	80531	Footpath sweeping various locations Sep 20	3,652.00
	80501	Road sweeping various locations for Sep 20	3,708.00
	80522	Road sweeping various locations for Sep 20	1,391.50
	80520	Carpark sweeping for Sep 20	2,860.00
Connecting Community for Kids	13October20	Financial support for Nourishing Minds program	1,100.00
Vocus Communications	P625128	Monthly internet services Oct 20	1,694.00
McLeods	115562	Legal fees matter 42548	658.93
	115563	Legal fees matter 42550	516.76
	115545	Legal fees matter 42544	363.27
	115867	Legal fees matter 42545	519.80
Department of Mines, Industry	September 20	Building Services Levy Aug 20	21,902.64
Lo-Go Appointments	00422274	Temp staff week ending 220820	1,629.05
	00422478	Temp staff week ending 031020	2,149.71
	00422476	Temp staff week ending 031020	1,492.60
	00422479	Temp staff week ending 031020	820.56
	00422480	Temp staff week ending 031020	1,737.08
Te Urupu Impi Inc	13October20	Cancelled booking for 131020 Isabella Corker Room	70.80
Planning Institute of Australia Pty	ED200910	Advertising for Senior Statutory Planning Officer	330.00
Mandogalup Volunteer Fire Brigade	08October2020	DFES ESL recoup Jul to Sep 20	1,539.87
Espresso Essential WA	SI-00206342	Coffee machine supplies Admin	318.89
Sifting Sands	INV-1804	Sand clean Bournan Heights Park	221.43
EFT TRANSFER: - 21/10/2020			68,769.09
Bright Futures Family Day Care - Pa	121020 to 181020	FDC Payroll 121020 to 181020	50,790.91
Bright Futures In Home Care - Payro	121020 to 181020	IHC Payroll 121020 to 181020	17,978.18
EFT TRANSFER: - 22/10/2020			421,913.57

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
InterFire Agencies	INV-05347	Fire fighting hoses	538.71
	INV-05269	Firefighting equipment	222.96
	INV-05188	Various firefighting equipment	154.83
	INV-04869	Items for Mandogalup and Kwinana FS	723.80
Burgess Rawson (WA) Pty Ltd	9579	Legal fee for Licence to Occupy	550.00
Summers Consulting	INV-846	Mosquito monitoring 02920	1,346.07
Nintex Pty Ltd	INV28417	Promapp software for up to 200 employees	43,197.00
M Watts Legal	2167	Legal matters no MW:0135/003707	141.90
Technifire 2000	24073	Reflective tape for City Operations Team x 1	225.50
	24087	External horn speaker for Kwinana South Station	160.00
Netstar Australia Pty Ltd	102559	EZ annual fee with sim access	525.36
Rodney William De San Miguel	15October20	Fire Brigade training refreshments	384.89
Port Printing Works	INVO58263	City Assist animal infringement books	386.10
Chorus Australia Ltd	C1069023	Mowing services at Bright Futures Sep 20	114.35
Outback Handyman	2809	Banksia V23 repair leaking roof	99.00
Meta Maya Group	G42002929	Asbestos Inspection 2020	3,135.00
Turf Care WA Pty Ltd	INV-1200	Vertimow Gilmore Oval	2,540.45
	INV-1198	Vertimow Bertram Oval	2,932.60
	INV-1199	Vertimow Gilmore College Hockey Oval	4,158.00
	INV-1201	Vertimow Orelia Oval	5,821.20
	INV-1202	Vertimow Wellard Park	6,237.00
	INV-1203	Vertimow McWhirter Oval	7,934.85
	INV-1204	Vertimow Honeywood Oval	10,637.55
	INV-1297	Treatment of turf at KAP	1,628.00
Hydroquip Pumps	INV-41834	Remove pump and dose bore at Kelly Park	5,379.00
	INV-41835	Remove pump and dose bore Chipperton Reserve	5,379.00
	INV-41836	Replace parts on bore at Chipperton Reserve	1,290.30
	INV-41837	Repair recirculation pump at Chipperton Reserve	4,725.60
	INV-41838	Install isolation valve to bore Chipperton Reserve	858.00
Tanya Van Der Merwe	1735804	Refund bond on The Patio	100.00
Andrew Francis Southall	15October20	Security Licence renewal	426.00
Harry's Asphalt	INV-00677	Relay Asphalt on both sides of Pixie Lane	3,206.50
DNR Contracting Pty Ltd	1239	Drainage works Cockburn Rd	6,490.00
Ainslie Gatt Art Consultancy	IV000022582	Art Collection Management	1,833.33
Mackie Plumbing and Gas Pty Ltd	I95693	Callistemon U76 repair leaking toilet	144.52
	I95694	Callistemon U44 remove existing oven	293.60
	I95689	Callistemon U24 replace shower head	153.67
	I95690	Callistemon U33 replace parts to toilet	116.08
	I95691	Callistemon U50 repair leaking toilet	140.14
	I95692	Callistemon U62 replace new laundry tap	138.34
Deserae Shaw	1752957	Refund bond on the Marri Training Room	200.00
Rota Moulding WA Pty Ltd	39448	Trailer wash down unit for City Operations Team	10,120.00
Steve de Meillon	15October20	Catering for Medina Heritage walk	147.00
Landmark Engineering & Design T/As	00009212	Install composite seats to Admin Bldg	1,860.10
Local Government Professionals NSW	57245RE2021	Access to Council comparison	1,100.00
Royal Life Saving Society	119837	Certificates for swimming lessons	1,113.20
Wolf Pack Barbell	43	Coaching development session Recquatic	264.00
Salvation Army Rockingham	1744027	Refund bond The Patio	100.00
Jade Louise McCallum	12October20	Picture hanging sets	40.67

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Thomson Geer	910542	Legal matters Retirement Village	520.85
Sweets On The Run	1579	Items for Community Services	320.00
Felicity Fernando	16October20	Refund of swimming lessons at Recquatic Centre	82.08
Mallison Real Estate	6.0	Rates Refund	1,103.74
Sharlini Devi Phalaya	20October20	Refund for swimming lessons for Recquatic	221.24
Frances Mary Van De Ven	20October20	Compost bin rebate	60.00
Tarissah Graham	1704659	Refund bond on The Patio	100.00
Gem Perry	1706741	Refund bond on The Patio	100.00
Tamara Roach	1746817	Refund bond on The Patio	100.00
Rhiannon L Uchino	1697573	Refund bond on The Patio	100.00
Chantelle Thomson	1746817	Refund bond on The Patio	100.00
Benjamin Gardner	1717741	Refund bond on The Patio	100.00
Christina Ngor	1752957	Refund bond on The Patio	100.00
Kasia Galea	19October20	Refund of swimming lessons	81.60
Stewart & Heaton Clothing Co Pty Lt	SIN-3248473	Purchase of uniform jackets for Fire Brigades	367.36
Returned Services League Of Austral	00132020	Vietnam Veterans Day wreath 2020	89.00
Toll Transport Pty Ltd	0405-T221490	Courier charges 061020	27.41
	0401-T221490	Courier charges 280820	30.50
	1094018	Transport services food water sampling analysis	42.37
	1094922	Transport services food water sampling analysis	73.72
Toolmart Australia Pty Ltd	RH-159926	Cable stripper for City Operations	207.50
T-Quip	95810#7	Anti scalp cups for City Operations	531.10
Trisley's Hydraulic Services Pty Lt	100203304	Wiper relays for spa at Recquatic	65.78
	100203307	Service to pools at Recquatic	12,905.39
Western Australian Local Government	I3084089	Mandatory Elected Member Training	195.00
	I3084472	Urban Forest Conference 271120	120.00
Water Corporation of Western Austra	9022594998Oct20	17U Honeywood Oval drink fountain	43.88
Wattleup Tractors	0163189	Service tractor KWIN5610	1,692.50
Westbooks	316750	Adult Library books	44.39
	316743	Adult Library books	52.51
	316749	Junior Library books	47.32
	316741	Junior Library books	49.59
	316739	Adult Library books	131.12
Construction Training Fund	06October20	CTF Levy for Sep 20	11,638.62
Absolute Painting Services	INV-1619	Wellard Pavilion repair cracks and repaint	264.00
	INV-1620	Repaint windows at Sloans Cottage	374.00
	INV-1635	Banksia V11 repaint inside walls	1,848.00
Benara Nurseries	245900	Supply and deliver stock to City Operations	383.91
Beaver Tree Services Aust Pty Ltd	74721	GST of invoice for stump grinding	434.95
	75041	General vegetation clearance Medina	2,133.89
	74948	Tree removal Lyon Rd	774.94
	74946	General vegetation clearance various sites	24,764.36
	74826	Stump grinding Mandogalup	2,369.74
	74947	Stump grinding Ringwood Loop	988.33
	75013	General vegetation clearance Thomas Oval	5,211.18
	75012	Stump grinding Kwinana BMX Park	898.48
	74980	Tree pruning Pagham Crt	891.75
	74981	Tree pruning Harley Way	445.87
	74827	General vegetation clearance various sites	1,931.73

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	74918	Chipping and mulching Naval Base	1,297.19
	74919	Stump grinding Medina	84.24
	74979	Mulching of green waste various sites	701.94
	75042	Tree pruning Sedano Cres	1,774.61
Synergy	129764890Oct20	7425U Lambeth Park POS	1,834.34
	958335710Oct20	4740U Orelia Oval	1,053.24
	521814530Oct20	1981U Wellard Pavilion	109.63
	114826720Oct20	17U Industrial streetscapes Naval Base	119.25
	566370150Oct20	249U Chipperton Park	160.02
	144372270Oct20	1404U Thomas Oval retic	299.97
	179469390Oct20	3059U Bertram Community Centre	775.70
	107029100Oct20	2742U Wellard Community Centre	646.40
Bob Jane Corporation Pty Ltd	0096466551	Puncture repair 1GWW680	26.40
	0096466550	Puncture repair KWN1942	26.40
Prestige Catering & Event Hire	INV-1897	Council dinner catering 141020	379.20
ABCO Products	611009	Hand soap and hand sanitiser	174.26
Bunnings Building Supplies	2163/01101858	Picture hooks for Admin Building	15.49
	2163/01581650	Globes for display cabinet in Admin Building	44.35
	2163/01674912	Storage cupboards for Chambers Lounge	482.60
Quality Press	INV039132	DFES printed stationery	138.93
Central Regional Tafe	10012555	Dog and Cat Management training course	2,191.33
Neverfail Springwater	940754	Bottled water for The Zone	55.25
	915826	Bottled water for Admin Bldg	62.40
	915130	Bottled water for Admin Bldg	147.39
	863010	Bottled water for Admin Bldg	70.20
	862370	Bottled water for Admin Bldg	204.59
Department of Health	Licence No 7414	Renewal Pest Management Licence No 7414	215.00
Natural Area Holdings P/L t/as Natu	00014057	Bushland reserve contracted weed control services	34,501.50
Cannon Hygiene Australia Pty Ltd	96844442	Hygeine services 061020 to 051120	1,519.46
Downer EDI Works Pty Ltd	6009500	Asphalt 7 and 10mm AC50B	368.59
	6009501	Asphalt 7mm Gran AC50B	288.82
	6009437	Asphalt 7mm Gran AC50B	140.89
	6009438	Asphalt 7mm Gran AC50B	457.22
Connect CCS	00103533	After hours monitoring overcalls Sept 20	1,478.62
Bolinda Publishing Pty Ltd	207510	Audio adult books for Library	619.69
	207223	Audio adult books for Library	1,002.82
	207562	Audio adult books for Library	74.76
Outsource Business Support Solution	00001574	Temp staff week ending 141020	2,904.00
Troy Benjamin Morley	12October20	Reimbursement of fuel 1GPL242	307.56
Marketforce Pty Ltd	35128	Advertising 090920	1,710.50
Signaltech	3781	Callistemon U54 repairs to antenna reception	319.00
	3782	Callistemon U62 repairs to antenna reception	539.00
Daniels Printing Craftsmen	68948	Animal ownership brochures	629.20
AAA Blinds Port Kennedy	7617	Banksia V62 replace damaged blinds	594.00
	7616	Callistemon U10 repairs to blinds and track	168.00
Coastline Mowers	25413#5	Various parts for City Operations	1,070.05
	25492#11	Filter intake cover	174.00
	25374#5	Asphalt diamond blade cutter	1,168.20
KAJ Installations & Services	00006799	Remotes for Kwinana Village units and villas	495.00
Kwinana Industries Council	14October20	Booking cancellation Ken Jackman Hall	90.23

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
CA Technology Pty Ltd T/as CAM	INV11096	CAMMS Risk user renewal membership	28,325.00
	INV11094	CAMMS Risk Project commencement	5,610.00
MRP Osborne Park-General Pest/Termi	92748	Pest control City Operations Team	155.94
Wizard Training Solutions	WIZZ12	Delivery of training on 141020	3,520.00
Winc Australia Pty Ltd	9034060605	Stationery for Admin Bldg	684.08
	9034083189	Stationery items for City Operations	44.78
T J Depiazzi & Sons	109433	Supply and deliver pinebark mulch to Depot	3,259.85
J & K Hopkins	268874	Office chairs x 10	4,712.00
Complete Office Supplies Pty Ltd	09597983	Stationery for Community Resource Centre	161.42
	09598135	Stationery for The Zone	2.76
	09531956	Items for Recquatic	874.92
Landgate	67326166	SLIP subscription services annual charge	4,869.90
Big W	176017	Items for workshop at The Zone	48.80
Centrecare	23735	EAP Annual registration and management fee	1,026.66
Tyrecycle Pty Ltd	874139	Tyre collection 250820	492.34
Accord Security Pty Ltd	00025106	Security services Darius Wells to 270920	197.76
Flexi Staff Pty Ltd	10002511	Temp staff week ending 111020	1,512.86
Shane Craig Beresford	15October20	Reimbursement for Team Milestone event	350.00
ALSCO Pty Ltd	CPER2069535	Linen hire	62.45
Imagesource Digital Solutions	453901	Library noticeboards and information signs	995.50
Woolworths Group Limited	3821124	Items for The Zone	8.00
	3821125	Items for Recquatic	162.14
	74978534	Items for City Operations Team	125.91
	75227368	Items for Admin Bldg and dinners	124.54
	3821129	Items for The Zone	21.67
	3821127	Items for The Zone	44.30
	3821126	Items for The Zone	147.99
	3821133	Morning tea for online session	76.99
	3821137	Items for The Zone	24.00
Elexacom	112059	Banksia Park replace smoke detectors in units	2,722.50
	112071	Callistemon U26 install power point	260.65
	112066	Banksia V41 replace GPO in laundry	209.09
	112069	Banksia V25 replace exhaust fan in bathroom	198.90
	112070	Banksia Clubhouse replace GPO in kitchen	96.11
	112086	Callistemon U17 replace exhaust fan in kitchen	155.58
	112106	Callistemon U53 replace RCD switches	231.33
	112105	Callistemon U33 install exhaust fan	313.36
	112109	Callistemon U32 repair light and replace bulbs	414.43
	112104	Callistemon U48 install pole filler	40.59
	112114	Callistemon U64 replace broken lights in kitchen	251.81
	112107	Callistemon U75 replace light and switch	54.42
	111048	Banksia villas 63 and 64 repair and maintenance	306.03
	112075	Install power to fridge at Margaret Feilman	1,292.82
	112074	Replace battery in exit lights at Medina Hall	511.28
	112073	Maintenance repairs to Mandogalup Station	376.08
	112057	Maintenance repairs to Koorliny	170.23
	112036	Electrical checks on Vacation Room at Recquatic	88.00
Green Skills Inc / Ecojobs	P2192	Gardening at Wildflower and Clementi Reserves	5,153.50
StrataGreen	127766	Weeding supplies and equipment	2,271.60
Sprayking WA Pty Ltd	00001911	Weed control various locations Sep 20	451.96
Labourforce Impex Personnel Pty Ltd	167880	Temp staff week ending 181020	992.93

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	167750	Temp staff week ending 161020	1,997.50
Heatley Sales Pty Ltd	C952075	Uniforms for City Operations	796.18
	C951650	Uniforms for City Operations	615.18
HP Financial Services Pty Ltd	100001244351	IT hardware 011220 to 311220	2,216.50
	100001243606	IT hardware 011220 to 311220	15,829.24
GPS Linemarking	INV-001736	Line marking various ovals	2,029.50
Frontline Fire and Rescue Equipment	69169	Extruded class hose equipment	236.89
	69168	Fire fighting safety equipment	239.80
	69116	Reflective stickers	44.00
Kerb Direct Kerbing Pty Ltd	39331	Install mountable kerb various sites	4,933.50
Herbert Smith Freehills	51018802	Legal fees 82706799	2,110.90
Kwinana Early Years Services	14October20	Booking cancellation Library Activity room	79.65
Sienna Properties Pty Ltd	6.0	Rates Refund	1,284.58
Department of Mines, Industry	06October20	Building Services Levy Sep 20	23,738.55
Kearns Garden Supplies	25Sep20	Various hardware items for City Operations Team	125.46
Leisure Institute of WA (Aquatics)	3404	LIWA Membership	132.00
Lo-Go Appointments	00422518	Temp staff week ending 101020	2,178.99
	00422410	Temp staff week ending 190920	2,723.74
	00422516	Temp staff week ending 101020	2,039.32
	00422514	Temp staff week ending 101020	1,674.46
	00422515	Temp staff week ending 101020	1,544.07
Whimsical Wonders Hight Tea & Party	COK-WBCC 010	Items for Community Fluid Art project	75.00
Gaye McMath	13	Independent Audit Committee member fee 210920	1,980.00
People Solutions Australasia Pty Lt	00014155	Psychometric testing	797.50
EFT TRANSFER: - 22/10/2020			217,624.44
Australian Services Union	PY01-09-Aust Ser	Payroll Deduction	275.98
	PY01-09-Aust Ser	Payroll Deduction	71.70
Australian Taxation Office	PY01-09-Australi	PAYG tax withheld	197,566.00
	PY99-07-Australi	PAYG tax withheld	7,049.00
Maxxia Pty Ltd	PY01-09-Maxxia P	Payroll Deduction	1,509.73
	PY01-09-Maxxia P	Payroll Deduction	1,465.88
Health Insurance Fund of WA (HIF)	PY01-09-Health I	Payroll Deduction	1,004.55
City of Kwinana - Xmas fund	PY01-09-TOK Chri	Payroll Deduction	7,210.00
Child Support Agency	PY01-09-Child Su	Payroll Deduction	1,101.82
LGRCEU	PY01-09-LGREC UI	Payroll Deduction	359.52
	PY01-09-LGREC UI	Payroll Deduction	10.26
EFT TRANSFER: - 23/10/2020			1,000.00
Samantha Ballard	231020	Innovate RAP artwork final fee for works	1,000.00
EFT TRANSFER: - 28/10/2020			67,743.04
Bright Futures Family Day Care - Pa	191020 to 251020	FDC Payroll 191020 to 251020	50,229.04
Bright Futures In Home Care - Payro	191020 to 251020	IHC Payroll 191020 to 251020	17,514.00
EFT TRANSFER: - 29/10/2020			396,677.35

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
Business Base	INV-10990	Sit to stand desk for Recquatic	519.00
Engineering Technology Consultants	00024488	Thomas Oval and Kelly Park redevelopment	1,100.00
Playmaster Pty Ltd	INV-0904	Replace equipment at Kwinana Adventure Park	280.50
Summers Consulting	INV-847	Mosquito monitoring 151020	1,235.74
Wheelie Clean	7257	Rubbish bin clean for Darius Wells	369.38
	7258	Rubbish bin clean for Admin Building	267.52
Retech Rubber	0003134	Rhodes Park Playground repair holes	632.50
Kieran Jon Burns Togher	26October20	Corporate Business Team Milestone event	244.00
QUBE Property Group	6.5	Rates Refund	1,588.57
James Madden	1735356	Refund bond Marri and Hovea rooms	200.00
McGees Property	27808	Market rental valuation for Parmelia House	1,980.00
Technifire 2000	24089	Repairs to Kwinana South vehicle KWN704P	1,392.38
	24090	Repairs to vehicle 1CRB723	1,804.03
Port Printing Works	INV058674	In Home Care brochures	189.09
Sonic Health Plus	2175813	Pre-employment medical assessment 201020	424.60
	2152186	Pre-employment medical assessment 210920	60.50
	2152187	Pre-employment medical assessment 180920	325.60
	2172238	Pre-employment medical assessment 141020	198.00
EcoBox Solution	EB-INV-00050	Foldable bags 20ltr	803.00
Holcim (Australia) Pty Ltd	9407193583	Supply .3.6M N25 14mm concrete to Medina	546.26
Biffa Mini Bins	INV-0157	Deliver skip bin to Admin Building	155.00
Back Beach Co Pty Ltd	17343	Items for Proshop at Recquatic	1,217.70
Kym Gow Art	101847	Electronic scan of artwork	43.00
Steve de Meillon	22October20	Stationery for Homestead Ridge Sunflower project	176.41
Australian HVAC Services Pty Ltd	58003	Repairs to kitchen drain John Wellard Centre	559.87
Royal Life Saving Society	120267	Teacher of Life Saving online course	50.00
Elizabeth's Bookshop	2020021	Adult library books	197.50
Taborda Contracting	21October20	Refund for additional payment	116.00
Infocouncil Pty Ltd	INFO-202000374	Base implementation fee	11,880.00
Standards Australia Limited	INV803178	Standards Australia royalty fee	155.71
	INV803257	Standards Australia annual licence	714.47
Cynthia Lilian Jean Alpine	22October20	Animal services refund	21.25
Kathryn Brown	1623023	Refund bond The Patio	100.00
Toni McGinley	1695070	Refund bond The Patio	100.00
Harshkumar Navinchandra Patel	1717984	Refund bond Ken Jackman Hall	2,000.00
Shveta Sood	1728896	Refund bond The Patio	100.00
Candice Leigh Gjengsto	1753368	Refund bond The Patio	100.00
Abigail Varani	1747104	Refund bond The Patio	100.00
Nav Auklah	1726446	Refund bond The Patio	100.00
Eva Tuma	261020	Refund of dog registration fees	250.00
Wormall Civil Pty Ltd	26October20	Refund of duplicate building permit BP2020/504	1,145.91
Satellite Security Services	IV009418	Replace batteries in alarm panel Darius Wells	200.00
	IV009429	Access cards for City of Kwinana	880.00
	IV009464	Replace batteries in The Zone alarm system	272.80
	IV009513	Programming for Little Athletics at Wellard Pavilion	50.00
	IV009536	Install additional keypad to Wellard Station	689.70
	IV009679	Remote programming to Bright Futures Day Care	50.00

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	IV009582	Repairs to doors at The Zone	173.00
	IV009661	Replace alarm panel at The Zone	435.60
St John Ambulance Australia (WA) In	FAINV00568527	First aid training 211020	128.00
	FAINV00568526	First aid training 211020	128.00
Telstra	1548725500Oct20	Alarm Feilman Building to 131120	19.25
Toll Transport Pty Ltd	0406-T221490	Courier charges 181020	13.05
T-Quip	96030	Rear steering repairs TOK001	869.20
Wormald Australia Pty Ltd	8295832	Routine inspection and testing at various sites	1,077.02
	8317185	Routine inspection and testing at various sites	1,077.02
Water Corporation of Western Austra	9000343469Oct20	0U Old St John Ambulance	94.00
	9000356366Oct20	19U Bright Futures	237.03
	9000357641Oct20	18U Orelia Oval	986.03
	9000354133Oct20	92U Thomas Oval & Tucker Reserve	1,741.40
	9000348470Oct20	394UDepot	1,486.49
	9000358839Oct20	18U Medina Hall	610.04
	9000358855Oct20	62U Kwinana Senior Citizens	535.60
	9000343688Oct20	4U Little Rascals	292.31
	9000358310Oct20	159U Medina Oval	1,208.96
	9000358329Oct20	8U Girl Guides Hall	20.65
	9000358337Oct20	8U Boy Scouts Hall	20.65
	9000354002Oct20	59U Amenities BMX track	246.28
Rubek Automatic Doors	00026368	Repairs to front doors at The Zone	242.00
Western Australian Treasury Corpora	Loan#94-041120	Loan #94 due 041120 capital and interest	29,412.85
Weston Road Systems	PR80	Resurfacing Cockburn Rd	660.00
Dennis Cleve Wood	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Sherilyn Wood	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Sandra Elizabeth Lee	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Absolute Painting Services	INV-1640	Banksia V52 repaint walls	1,958.00
Synergy	546496270Oct20	406U Skottowe Park	227.23
	958312220Oct20	510U Djilba View	278.95
	151027420Oct20	092 Brandon Mews Reserve	138.94
	479742820Oct20	52U Bore Parmelia verge	127.46
	824098750Oct20	1210U Thomas Road entry	459.88
	144348440Oct20	103U Bore Sutherland Pde	142.10
	488212530Oct20	216U Chisham Oval	241.47
	809178030Oct20	54U Warner Rd sump	128.03
	821437900Oct20	1U POS lighting near Wellard Village	114.65
	846031050Oct20	233U Street lights The Strand	181.26
	228715140Oct20	571U Wellard Village/Pimlico Gardens	228.65
	786264020Oct20	362U Bore Sutherland Pde/Chisham Ave	266.51
	200144210Oct20	176U Sloan Caretakers Cottage	114.80
	618835230Oct20	0U Sloan caretakers cottage (old bore)	114.37
	882174540Oct20	1U The Strand POS lighting	114.65
	166216150Oct20	21U Sloan Reserve bore pump 3	120.40
	254890320Oct20	11U Rushbook Park BBQ	111.99
	254890650Oct20	28U Malden Park BBQs	122.41
	970964040Oct20	0U Feilman Building ground floor	52.63
	461218120Oct20	278U Nye Way retic	241.31
	272150100Oct20	365U Prince Regent Gate Reserve	245.53
	113658350Oct20	80U Hennessy Park	131.80

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	558638440Oct20	173U Challenger/Bertram entry statement	164.03
	544003140Oct20	212U Wellard Road verge	243.16
	201352990Oct20	305U Newstead Park	247.80
	114826050Oct20	340U Industrial s/scapes Kwinana Beach	264.03
	126641430Oct20	916U Lights Robbos Place carpark	371.40
	151880770Oct20	3U Stidworthy Court carpark lighting	126.37
	316580380Oct20	981U Medina Oval lighting	388.61
	332324250Oct20	158U Hewison Park BBQ	152.35
	334678810Oct20	0U Shop 23 / 40 Meares Avenue	114.37
	334820750Oct20	1002U Shop 24 / 40 Meares Avenue	402.01
	345401020Oct20	6U Feilman Building (DFES)	1,978.00
	473346610Oct20	74U Wellard Park	233.42
	676621320Oct20	5112U Feilman Building lift and security lighting	1,581.84
	704953470Oct20	165U Barney Court	161.73
	705629830Oct20	219U Bournan Heights reserve	175.40
	829280210Oct20	549U Chisham Avenue street lights	322.88
	832505320Oct20	863U Ascot Park	352.89
Prestige Catering & Event Hire	INV-1919	PKCC breakfast meeting 201020	3,713.00
ABCO Products	608735	Cleaning products for various facilities	838.85
	614795	Hand sanitiser dispenser	49.82
	615507	Puregiene compact towel	385.97
Bunnings Building Supplies	2163/01567586	Items for Darius Wells	28.48
	2163/01567572	Globes and hooks for Darius Wells	195.64
	2163/01583403	Painting supplies for Recquatic	115.57
	2163/01678326	Shower equipment for Bertram Club House	133.04
	2163/01678524	Hose equipment for Wells Park ablutions	137.84
	2163/01084803	Carpet repairs to William Bertram Centre	242.58
Yakka Pty Ltd	12592058	Staff uniforms	289.30
Ausco Modular Pty Ltd	7245685	Demountable hire Oct 20	1,471.80
Neverfail Springwater	915109	Bottled water for City Operations	23.40
Modern Teaching Aids Pty Ltd	44133560	Equipment for Recquatic creche	830.34
Downer EDI Works Pty Ltd	6009639	Asphalt lay 14mm Cockburn Rd	26,407.96
Peter Edward Feasey	DEPMAYFEE20/21	Deputy Mayoral allowance	1,869.83
	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Carol Elizabeth Adams	ICTALLOW20/21	ICT allowance	291.67
	MAYALLOW20/21	Mayoral allowance	7,479.42
	MEETING20/21	Meeting fees	3,959.67
Celebration Nominees Pty Ltd T/A	26October20	Refund of Building fees BP2020/633	430.15
WA Boiler Spares & Service	15255	Repairs to gas burner at Recquatic	1,758.35
Outsource Business Support Solution	00001579	Temp staff week ending 231020	1,452.00
	00001578	Temp staff week ending 191020	1,452.00
	00001577	Temp staff week ending 211020	1,452.00
AAA Blinds Port Kennedy	7618	Service blinds at Francis Morgan Room	168.00
City of Rockingham	113724	Tip fees to 101020	61,935.44
Western Maze Pty Ltd	00001058	Green waste collection area 2	61,246.85
Paula Maria Josepha Geling	271020	Reimbursement for mahjong set Banksia Park	179.99
BullAnt Security Pty	10203596	Install wrap plate with keypad Casuarina FS	602.80
	10204383	Sloan Cottage cut 4 x keys	39.00
	10203250	Supply lockwood twin key set	32.28
HECS Fire	70983	Service to fire hydrant at Fiona Harris Pavilion	247.50
MRP Osborne Park-General Pest/Termi	93791	Pest control Rhodes Park	139.70

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	92754	Termite inspection Little Rascals	377.49
	94271	Pest control Chisham Oval toilets	139.70
Infiniti Group	504002	Items for Recquatic Centre	1,348.47
Advanced Traffic Management (WA) Pt	00139719	Traffic management Beacham Cres	796.40
	00140374	Traffic management Rockingham Rd	4,322.45
	00140008	Traffic management Rockingham Rd	2,053.70
	00140375	Traffic management Burlington St	5,409.80
	00140348	Traffic management Beacham Cres	1,666.50
	00140349	Traffic management Beacham Cres	809.60
	00140350	Traffic management Challenger Ave	1,012.00
	00140351	Traffic management Beacham Cres	1,324.95
JB Hi-Fi Rockingham	103112355-100	Handheld radio pack for Library	89.00
Wendy Gaye Cooper	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/	Meeting fees	2,639.83
Abraham Pattiselanno	26October20	Refund for transport fees for youth forum	29.90
Institute of Indigenous Wellbeing &	001	Naidoc community event	5,500.00
Australian Safety Engineers	0149654W	Annual servicing of oxygen regulators	538.45
Master Lock Service	00007270	Challenger Beach/Wells Park toilets hardware/keys	2,199.85
	00007310	Supply 15 F padlocks using Lockwood	595.50
	00007309	Supply 15 A keys	90.00
	00007265	Refit vestibule and repair latch at Admin Bldg	130.00
Name Badge World	BW13957	Employee name badges	55.39
Talis Consultants Pty Ltd	21483	Consultancy services Project Kwinana WEP	8,406.75
Flexi Staff Pty Ltd	I0002693	Temp staff week ending 181020	1,893.88
Forpark Australia Pty Ltd	46583	Replacement parts for Kwinana Adventure Playground	2,024.00
Zenien Pty Ltd T/as ATFT Astuta Tru	17992	CCTV repairs to Calista Oval	841.50
	17998	Camera configuration software	1,716.00
CMS Engineering Pty Ltd	39156	Repair AC at City Operations Team	685.30
	39103	Repair water leak at Darius Wells	508.20
	39102	Repair AC at Stirling Skills	456.50
	39104	Repair AC at Business Incubator room	508.20
	39155	Air conditioning maintenance various sites Sept 20	7,480.00
ALSCO Pty Ltd	CPER2078442	Linen hire for Council dinners	59.63
Plants & Garden Rentals	00015562	Plant hire Darius Wells Aug 20	159.50
	00015297	Plant hire Darius Wells July 2020	159.50
	00015175	Plant hire Darius Wells June 2020	159.50
Woolworths Group Limited	3848875	Items for Facility Department	20.00
	75467066	Items for Cafe Splash Recquatic	538.85
	3821135	Items for Recquatic	22.00
	4115851	Items for Mooditj Kulungars	40.17
	3821120	Items for Mooditj Kulungars	79.20
	3821134	Items for Mooditj Kulungars	87.83
	3821149	Items for The Zone	9.86
	3821145	Items for The Zone	88.60
	75611656	Items for City Operations Team	115.50
	3821143	Kettle for Kwinana Adventure Park	49.00
	75605151	Items for Admin Bldg	101.50
	3821128	Items for Admin Bldg	8.00
Supa Soils Pty Ltd	SS-76390	Sand for Wellard Oval	108.00
Elexacom	110745	Repair faults on Medina Oval light tower	2,570.67
	110961	Program toilet lights at William Bertram	115.50
	112054	Isolate light pole at Wells Park	187.00

Payment Listing

Payments made between 01/10/2020 and 31/10/2020

Payee	Invoice	Description	Amount
	112111	Repair cable to security lights at The Shed	329.88
	112072	Install emergency power switch at Recquatic	710.77
	112089	Repair lights outside The Zone	1,071.05
	112108	Repair to downlights at The Zone	66.00
Total Green Recycling	INV8652	Collection of batteries and globes	703.56
	INV8623	E waste recycling	1,516.74
Labourforce Impex Personnel Pty Ltd	168074	Temp staff week ending 251020	1,230.04
Australia Post	1009885472	Postage for period ending 310820	8,129.02
Quantum Building Services	00003527	Waterproofing at John Wellard Centre	12,465.48
Blackwood & Sons Ltd	PE5856XX	Assorted paints for City Operations Team	21.60
	KW5855XX	Assorted paints for City Operations Team	86.41
Challenger Veterinary Hospital	86259	Animal services 190820	70.00
Allied Pumps Pty Ltd	91139	Wandi Pavilion scheduled servicing	2,236.10
JB Hi-Fi Group Pty Ltd	307965335-141	Navman for City Operations Team vehicle	1,350.00
K Mart	125719	Items for Get Creative program	56.50
Mervyn Thomas Kearney	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Kelli Anne Small	19032	Annual Professional membership	500.00
Baldivis Transport Pty Ltd	2246	Bulk water supply for Casuarina Hall 240920	175.00
McLeods	115256	Legal fees matter 45878	1,210.54
Lo-Go Appointments	00422589	Temp staff week ending 241020	1,674.46
	00422551	Temp staff week ending 171020	772.04
	00422554	Temp staff week ending 171020	2,020.16
	00422555	Temp staff week ending 171020	1,218.77
	00422591	Temp staff week ending 241020	1,629.05
	00422592	Temp staff week ending 241020	1,737.08
	00422588	Temp staff week ending 241020	1,399.86
	00422553	Temp staff week ending 171020	2,653.44
	00422552	Temp staff week ending 171020	1,674.46
Matthew James Rowse	ICTALLOW20/21	ICT allowance	291.67
	MEETINGFEES20/21	Meeting fees	2,639.83
Metro Filters	00163877	Cafe Splash rangehood clean	487.50
Department of Planning, Lands and	IN503079	Class A Reserve 24575 advertisement	1,113.08
Robert Muir Old and Rare Books	12October20	Adult books for Library	115.00
Total EFT			-4,632,777.76
Payroll			
Payroll			623,131.90
Payroll - Interim			12,804.58
Payroll			633,776.92
Payroll - Interim			38,517.87
Total Payroll			-1,308,231.27
Grand Total			-5,985,687.67

Credit Card Transactions

1/10/2020 to 31/10/2020

Transaction No	Tran Type	Tran Reference	Invoice Date	Actual	Transaction Description
Credit card Functions Officer to 051020				\$769.62	
4936855	Invoice	051020A	05/10/2020	\$8.82	Quarterly Celebration catering
4936855	Invoice	051020A	05/10/2020	\$8.82	Quarterly Celebration catering
4936855	Invoice	051020A	05/10/2020	\$13.91	Catering Spring Clean Day
4936855	Invoice	051020A	05/10/2020	\$59.73	Subway EMBS dinner
4936855	Invoice	051020A	05/10/2020	\$67.47	Catering Spring Clean Day
4936855	Invoice	051020A	05/10/2020	\$540.91	Catering Quarterly Celebration
4936855	GST	051020A	05/10/2020	\$69.96	GST
Credit card Executive Assistant to 051020				\$112.00	
4936870	Invoice	051020B	05/10/2020	\$20.00	Kmart online office furniture
4936870	Invoice	051020B	05/10/2020	\$81.82	Wreath for National Police Remembrance Day
4936870	GST	051020B	05/10/2020	\$10.18	GST
Credit card Coordinator Environmental Health to 051020				\$344.49	
4936878	Invoice	051020C	05/10/2020	\$4.36	Coles sampling bags
4936878	Invoice	051020C	05/10/2020	\$7.73	Food sampling
4936878	Invoice	051020C	05/10/2020	\$9.09	Food sampling
4936878	Invoice	051020C	05/10/2020	\$9.09	Food sampling
4936878	Invoice	051020C	05/10/2020	\$12.68	Food sampling
4936878	Invoice	051020C	05/10/2020	\$15.45	Food sampling
4936878	Invoice	051020C	05/10/2020	\$60.99	Blackwoods personal protective equipment
4936878	Invoice	051020C	05/10/2020	\$193.77	Waste and Recycle Conference 2020
4936878	GST	051020C	05/10/2020	\$31.33	GST
Credit card Director City Development to 051020				\$1,567.00	
4936880	Invoice	051020D	05/10/2020	\$35.45	Big W safety boots
4936880	Invoice	051020D	05/10/2020	\$636.36	Young Achiever Awards 5 x attendees
4936880	Invoice	051020D	05/10/2020	\$752.73	Survey Monkey subscription
4936880	GST	051020D	05/10/2020	\$142.46	GST
Credit card Manager Customer & Communications to 051020				\$28.21	
4936883	Invoice	051020E	05/10/2020	\$0.69	International transaction fee

Credit Card Transactions

1/10/2020 to 31/10/2020

Transaction No	Tran Type	Tran Reference	Invoice Date	Actual	Transaction Description
4936883	Invoice	051020E	05/10/2020	\$27.52	Zapier licence
Credit card Chief Executive Officer to 051020				\$10.61	
4936888	Invoice	051020F	05/10/2020	\$1.38	Parking for meeting with Fremantle Ports
4936888	Invoice	051020F	05/10/2020	\$8.26	Parking for meeting with WAPC
4936888	GST	051020F	05/10/2020	\$0.97	GST
Credit card A/Manager Customer & Communications to 030920				\$2,158.58	
4936902	Invoice	051020G	05/10/2020	\$1.21	International transaction fee
4936902	Invoice	051020G	05/10/2020	\$14.90	Facebook
4936902	Invoice	051020G	05/10/2020	\$25.00	Facebook
4936902	Invoice	051020G	05/10/2020	\$25.00	Facebook
4936902	Invoice	051020G	05/10/2020	\$48.46	Typeform subscription
4936902	Invoice	051020G	05/10/2020	\$90.77	Facebook
4936902	Invoice	051020G	05/10/2020	\$114.50	Facebook
4936902	Invoice	051020G	05/10/2020	\$119.48	Facebook
4936902	Invoice	051020G	05/10/2020	\$185.27	Burst SMS software
4936902	Invoice	051020G	05/10/2020	\$199.62	Facebook
4936902	Invoice	051020G	05/10/2020	\$230.30	Facebook
4936902	Invoice	051020G	05/10/2020	\$291.46	Facebook
4936902	Invoice	051020G	05/10/2020	\$319.57	Mailchimp email marketing software
4936902	Invoice	051020G	05/10/2020	\$474.51	Facebook
4936902	GST	051020G	05/10/2020	\$18.53	GST
Credit card Manager Human Resources to 051020				\$6,129.29	
4936909	Invoice	051020H	05/10/2020	\$43.64	Flowers for staff member
4936909	Invoice	051020H	05/10/2020	\$45.45	Smartrider top up
4936909	Invoice	051020H	05/10/2020	\$73.09	Flowers for staff member
4936909	Invoice	051020H	05/10/2020	\$73.55	Flowers for staff member
4936909	Invoice	051020H	05/10/2020	\$75.09	Flowers for staff member
4936909	Invoice	051020H	05/10/2020	\$190.00	Sportspeople recruitment advertising
4936909	Invoice	051020H	05/10/2020	\$229.09	ATI Mirage training course

Credit Card Transactions

1/10/2020 to 31/10/2020

Transaction No	Tran Type	Tran Reference	Invoice Date	Actual	Transaction Description
4936909	Invoice	051020H	05/10/2020	\$634.10	Gold frames for service awards
4936909	Invoice	051020H	05/10/2020	\$696.19	LinkedIn advertising
4936909	Invoice	051020H	05/10/2020	\$748.93	LinkedIn advertising
4936909	Invoice	051020H	05/10/2020	\$1,091.65	Gift vouchers for Staff Value recipients
4936909	Invoice	051020H	05/10/2020	\$1,770.55	Gift vouchers for Team Value recipients
4936909	GST	051020H	05/10/2020	\$457.96	GST

Grand Total:	\$11,119.80
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18.3 Budget Variations

DECLARATION OF INTEREST:

SUMMARY:

To amend the 2020/2021 budget to reflect various adjustments to the General Ledger with nil effect to the budgeted surplus position as detailed below.

OFFICER RECOMMENDATION:

That Council approves the required budget variations to the Current Budget for 2020/2021 as follows.

ITEM #	DESCRIPTION	CURRENT BUDGET	INCREASE/ DECREASE	REVISED BUDGET
1	Capital Expense – Furniture and Equipment – Rates folding/insertion machine with software	Nil	(17,505)	(17,505)
	Operating Expense - Financial Services Rates - Stationery & Printing	(30,983)	17,505	(13,478)
2	Operating Expense - Fire & Emergency Management - Mitigation Works Expenses	Nil	(15,251)	(15,251)
	Operating Revenue - Fire & Emergency Management - Government Grant State	Nil	15,251	15,251
3	Capital Expense – Buildings - Recquatic - Swim School Office relocation	Nil	(10,400)	(10,400)
	Operating Expense – Recquatic Health and Fitness – Expendable Equipment	(18,000)	8,600	(9,400)
	Operating Expense – Recquatic Aquatic Operations – Expendable Equipment	(3,096)	1,800	(1,296)

NOTE: AN ABSOLUTE MAJORITY OF COUNCIL IS REQUIRED

18.3 BUDGET VARIATIONS

DISCUSSION:

ITEM #	DESCRIPTION	CURRENT BUDGET	INCREASE/ DECREASE	REVISED BUDGET
1	Capital Expense – Furniture and Equipment – Rates folding/insertion machine with software	Nil	(17,505)	(17,505)
	Operating Expense - Financial Services Rates - Stationery & Printing	(30,983)	17,505	(13,478)

The purchase of a folding/insertion machine with software will enable the City to print and issue rate notices and other bulk mail-outs in-house rather than outsourcing the jobs to external companies. It is proposed that the purchase of this folding/insertion machine is funded from savings in the stationery and printing budget that will not be required if the machine is purchased.

2	Operating Expense - Fire & Emergency Management - Mitigation Works Expenses	Nil	(15,251)	(15,251)
	Operating Revenue - Fire & Emergency Management - Government Grant State	Nil	15,251	15,251

Confirmation has been received from the Department of Fire and Emergency Services for a grant from the mitigation activity fund to complete mitigation works at six sites per the City's Bushfire Mitigation Plan. A budget variation is required for the expenditure and grant funding for these works.

3	Capital Expense – Buildings - Recquatic - Swim School Office relocation	Nil	(10,400)	(10,400)
	Operating Expense – Recquatic Health and Fitness – Expendable Equipment	(18,000)	8,600	(9,400)
	Operating Expense – Recquatic Aquatic Operations – Expendable Equipment	(3,096)	1,800	(1,296)

The Kwinana Swim Club office has been relocated into the old vacation care room in the stadium at the Recquatic. Works are required to ensure that both rooms are prepared for the respective users. A budget variation is required as these costs are considered capital works as per the City's asset capitalisation threshold. It is proposed that these capital works are funded from existing expendable equipment budgets at the Recquatic.

18.3 BUDGET VARIATIONS

LEGAL/POLICY IMPLICATIONS:

The *Local Government Act 1995* Part 6 Division 4 s 6.8 (1) requires the local government not to incur expenditure from its municipal fund for an additional purpose except where the expenditure-

(b) is authorised in advance by resolution*

“additional purpose” means a purpose for which no expenditure estimate is included in the local government’s annual budget.

*requires an absolute majority of Council.

FINANCIAL/BUDGET IMPLICATIONS:

The financial implications are detailed in this report.

ASSET MANAGEMENT IMPLICATIONS:

The allocation of funds towards the upgrading and purchase of City assets will be included in the City’s Asset Management Strategy.

ENVIRONMENTAL IMPLICATIONS:

No environmental implications have been identified as a result of this report or recommendation.

STRATEGIC/SOCIAL IMPLICATIONS:

This proposal will support the achievement of the following outcome and objective detailed in the Corporate Business Plan.

Plan	Outcome	Objective
Corporate Business Plan	Business Performance	5.4 Ensure the financial sustainability of the City of Kwinana into the future

COMMUNITY ENGAGEMENT:

There are no community engagement implications as a result of this report.

PUBLIC HEALTH IMPLICATIONS:

There are no public health implications as a result of this report.

18.3 BUDGET VARIATIONS

RISK IMPLICATIONS:

The risk implications in relation to this proposal are as follows:

Risk Event	The City does not manage its finances adequately and allows budget expenditure to exceed allocation and the City then finds itself unable to fund its services that have been approved through the budget process
Risk Theme	Failure to fulfil statutory regulations or compliance Providing inaccurate advice/information
Risk Effect/Impact	Financial Reputation Compliance
Risk Assessment Context	Operational
Consequence	Minor
Likelihood	Rare
Rating (before treatment)	Low
Risk Treatment in place	Reduce (mitigate risk)
Response to risk treatment required/in place	Submit budget variation requests to Council as they arise, identifying financial implications and ensuring there is nil effect on the budget adopted
Rating (after treatment)	Low

19 Notices of motions of which previous notice has been given

20 Notices of motions for consideration at the following meeting if given during the meeting

21 Late and urgent Business

Note: In accordance with Clauses 3.13 and 3.14 of Council's Standing Orders, only items resolved by Council to be Urgent Business will be considered.

COUNCIL DECISION

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MOVED CR

SECONDED CR

That Council deal with the items of urgent business as presented in the Addendum to the Agenda.

22 Reports of Elected Members

23 Answers to questions which were taken on notice

Nil

24 Mayoral Announcements

25 Confidential items

25.1 Proposed Disposition by way of Lease of Lot 12 (2) Stidworthy Court, Kwinana City Centre

This report and its attachments are confidential in accordance with Section 5.23(2)(c) of the *Local Government Act 1995*, which permits the meeting to be closed to the public for business relating to the following:

- (c) a contract entered into, or which may be entered into, by the local government and which relates to a matter to be discussed at the meeting: and

26 Close of meeting